

**WOOD SIDING BID ALTERNATE:**  
1. ALL WOOD SIDING AND ROOF SOFFITS TO BE PER KEYNOTES ON A5.1 AND WUI SPEC ON A5.2  
- AND -  
2. ALL WOOD SIDING AND ROOF SOFFITS AS HARDI-PANEL/ PLANK OR SIMILAR CEMENTITIOUS SIDING

## WUI SIDING NOTES

SEE SHT. A 5.1 FOR ELEVATION KEYNOTES.

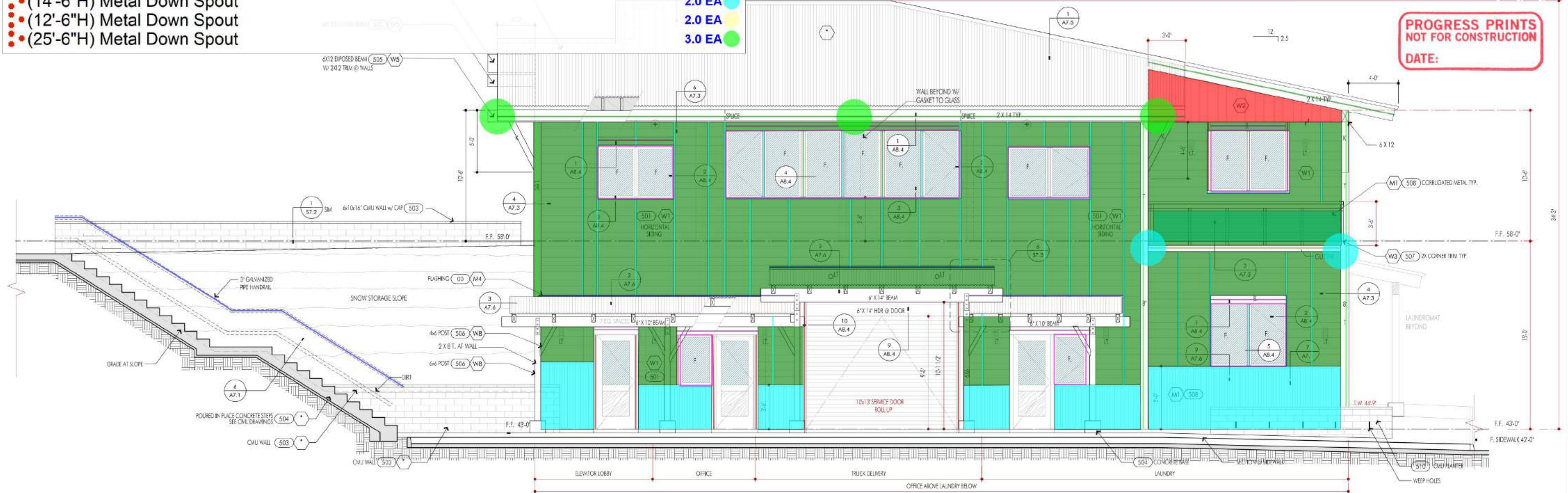
**(W1) 501 WOOD SIDING**  
LISTING NO. 8140-2091-0100  
CATEGORY: 8140 - EXTERIOR WALL SIDING AND SHEATHING FOR WILDLAND URBAN INTERFACE (W.U.I.)  
LISTEE: SIERRA PACIFIC INDUSTRIES BOX 496028, REDDING, CA 96049  
CONTACT: CEDRIC TWIGHT (530) 378-8000 FAX (530) 378-8499  
EMAIL: CTWIGHT@SPH-IND.COM  
DESIGN: SOLID-SAWN "WOOD" SIDING WITH NO THROUGH HOLES OR LOOSE KNOTS, INSTALLED OVER STRUCTURAL PLYWOOD OR ORIENTED STRAND BOARD (OSB) WITH A 7/16" MINIMUM THICKNESS AND COMPLYING WITH VOLUNTARY PRODUCT STANDARD PS1 OR VOLUNTARY PRODUCT STANDARD PS2, WITH THE FOLLOWING INTERLOCKING DESIGNS WHEN INSTALLED IN ACCORDANCE WITH INDUSTRIAL TECHNICAL GUIDE. REFER TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PRODUCT DATA SHEETS.  
a. TONGUED & GROOVED, SHIPLAP, CHANNEL SHIPLAP, V SHIPLAP, LOG CABIN: WHEN APPLIED IN A HORIZONTAL ORIENTATION WITH MINIMUM NOMINAL 6" WIDE AND NOMINAL 1" THICK BOARDS MADE OF WOOD SPECIES "REDWOOD", "WESTERN RED CEDAR", "INCENSE CEDAR", "PORT ORFORD CEDAR", "ALASKA YELLOW CEDAR", "PONDEROSA PINE", "DOUGLAS FIR", "WHITE FIR", "WESTERN SPRUCE", OR ANY OTHER WOOD SPECIES HAVING A FLAME SPREAD RATING NOT GREATER THAN 150 (CLASS C) WHEN TESTED IN ACCORDANCE WITH ASTM E84.  
b. TONGUED & GROOVED, SHIPLAP, CHANNEL SHIPLAP, V SHIPLAP: WHEN APPLIED IN A VERTICAL ORIENTATION WITH MINIMUM NOMINAL 6" WIDE AND NOMINAL 1" THICK BOARDS MADE OF WOOD SPECIES "REDWOOD", "WESTERN RED CEDAR", "INCENSE CEDAR", "PORT ORFORD CEDAR", "ALASKA YELLOW CEDAR", "PONDEROSA PINE", "DOUGLAS FIR", "WHITE FIR", AND "WESTERN SPRUCE", OR ANY OTHER WOOD SPECIES HAVING A FLAME SPREAD RATING NOT GREATER THAN 100 (CLASS C) WHEN TESTED IN ACCORDANCE WITH ASTM E84.  
ALL NOMINAL BOARD SIZES SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF AMERICAN SOFTWOOD LUMBER STANDARD DOC PS 20. EDGE AND END GUELED SIDING IS PERMITTED TO BE USED INTERCHANGEABLY WITH SOLID SAWN MEMBERS. THE RECOMMENDED INSTALLATION PRACTICE FOR SOLID WOOD SIDING IN WALL CONSTRUCTION REGARDING BUTT AND OVERLAPPING JOINTS IS: BUTT JOINTS BETWEEN PICES SHOULD BE STAGGERED A MINIMUM OF 12" AND ALL BUTT JOINTS SHOULD BE FLUSH WITH NO GAP. NAIL JOINTS INTO THE STUDS OR BLOCKING MEMBERS. ONE NAIL AT EACH CROSSING WITH THE WOOD FRAME SUPPORT MEMBER SHALL BE USED FOR NOMINAL 6" SIDING AND 2 NAILS FOR NOMINAL 8" OR WIDER SIDING. REFER TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PRODUCT DATA SHEETS.

**(W2) 502/3 VERT WOOD SIDING**  
LISTING NO. 8140-2091-0104  
CATEGORY: 8140 - EXTERIOR WALL SIDING AND SHEATHING FOR WILDLAND URBAN INTERFACE (W.U.I.)  
LISTEE: SIERRA PACIFIC INDUSTRIES BOX 496028, REDDING, CA 96049  
CONTACT: CEDRIC TWIGHT (530) 378-8000 FAX (530) 378-8499  
EMAIL: CTWIGHT@SPH-IND.COM  
DESIGN: SOLID-SAWN "WOOD" SIDING WITH NO THROUGH HOLES OR LOOSE KNOTS, INSTALLED OVER STRUCTURAL PLYWOOD OR ORIENTED STRAND BOARD (OSB) WITH A 7/16" MINIMUM THICKNESS AND COMPLYING WITH VOLUNTARY PRODUCT STANDARD PS1 OR VOLUNTARY PRODUCT STANDARD PS2, WITH THE FOLLOWING INTERLOCKING DESIGNS WHEN INSTALLED IN ACCORDANCE WITH INDUSTRIAL TECHNICAL GUIDE. REFER TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PRODUCT DATA SHEETS.  
BOARD AND BATTEN: WHEN APPLIED IN A VERTICAL ORIENTATION WITH MINIMUM NOMINAL 8" WIDE AND NOMINAL 1" THICK BOARDS, AND MINIMUM NOMINAL 4" WIDE AND NOMINAL 1-1/4" THICK BATTENS, WITH BOARDS INSTALLED WITH A GAP NOT MORE THAN 1/8", WITH BATTENS FASTENED TO THE WOOD FRAME WITH NOT LESS THAN 3" LONG FASTENERS AT A SCHEDULE NOT MORE THAN 24" ON CENTER, AND BOARDS AND BATTENS MADE OF A WOOD SPECIES "REDWOOD", "WESTERN RED CEDAR", "INCENSE CEDAR", "PORT ORFORD CEDAR", "ALASKA YELLOW CEDAR", "PONDEROSA PINE", OR ANY OTHER WOOD SPECIES HAVING A FLAME SPREAD RATING NOT GREATER THAN 75 (CLASS B) WHEN TESTED IN ACCORDANCE WITH ASTM E84.  
ALL NOMINAL BOARD SIZES SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF AMERICAN SOFTWOOD LUMBER STANDARD DOC PS 20. EDGE AND END GUELED SIDING IS PERMITTED TO BE USED INTERCHANGEABLY WITH SOLID SAWN MEMBERS. THE RECOMMENDED INSTALLATION PRACTICE FOR SOLID WOOD SIDING IN WALL CONSTRUCTION REGARDING BUTT AND OVERLAPPING JOINTS IS: BUTT JOINTS BETWEEN PICES SHOULD BE STAGGERED A MINIMUM OF 12" AND ALL BUTT JOINTS SHOULD BE FLUSH WITH NO GAP. NAIL JOINTS INTO THE STUDS OR BLOCKING MEMBERS. ONE NAIL AT EACH CROSSING WITH THE WOOD FRAME SUPPORT MEMBER SHALL BE USED FOR NOMINAL 6" SIDING AND 2 NAILS FOR NOMINAL 8" OR WIDER SIDING. REFER TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PRODUCT DATA SHEETS.

- 3" Galvanized Pipe Handrail
- 7/8" Corrugated Metal Siding W/ Wood Sill @ Top
- W1 : Exterior Horizontal Siding
- 2x14" Wood Fascia
- W2: Vertical Exterior Siding
- 2x8 Corner Trim
- Metal Flashing
- 8" Wxterior Battens
- 2" Trim
- 3" Trim
- 6" Trim
- 6"x6" Metal Gutter
- 4x6 Structural Trim
- Tyvek Flex Wrap Flashing @ Window W/ Lap
- (14'-6"H) Metal Down Spout
- (12'-6"H) Metal Down Spout
- (25'-6"H) Metal Down Spout

31.8 FT	57.3
392.8 SQ FT	57.3
1364.2 SQ FT	57.3
173.6 FT	57.3
202.9 SQ FT	57.3
110.2 FT	57.3
50.6 FT	57.3
84.8 FT	57.3
483.9 FT	57.3
123.5 FT	57.3
40.3 FT	57.3
15.4 FT	57.3
10.7 FT	57.3
302.5 FT	57.3
2.0 EA	57.3
2.0 EA	57.3
3.0 EA	57.3

**EAST ELEVATION**  
1/4" = 1'-0"



**PROGRESS PRINTS  
NOT FOR CONSTRUCTION**  
DATE:

**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

Contractor shall verify all field conditions for conformance to drawings before starting construction. All measurements are subject to verification by the contractor and he shall notify Ewing Architects Inc. of any discrepancies prior to fabrication or construction.

## JUNE LAKE BUSINESS CENTER PHASE 1

2784 CA HWY 158  
JUNE LAKE, CA 23529

JOB TITLE + ADDRESS  
OWNERS REPRESENTATIVE

DON MORTON  
PO BOX 237  
JUNE LAKE, CA 93529

Copyright 1972 - D.S. Ewing Architects, Inc. All rights reserved. Designs, Drawings and Specifications as instruments of service are and shall remain the property of the Architect whether the project for which they are made is executed or not. They are not to be used on other projects or extensions to this Project except by agreement in writing and with appropriate compensation to the Architect.

## D.S. EWING ARCHITECTS INC. A.I.A.

723 E. California Blvd.  
Pasadena, CA 91106  
office: 626.584.0860  
fax: 626.584.5905  
ewingarchitects.com

These drawings are to be considered preliminary and are not approved for construction until the owner and the Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents and conditions as set forth in these documents.

OWNER

ARCHITECT

CONTRACTOR

JOB #: 19-932

DRAWN LAST: EWING  
ARCHITECTS

SHEET DATE: Apr. 13, 23

PLOTTED: Nov. 1, 23

## REVISIONS

9/20/22 - RENUMBERED SHEET

4/25/23 - REV. PER DS MARKUPS

MONO COUNTY STAMPS

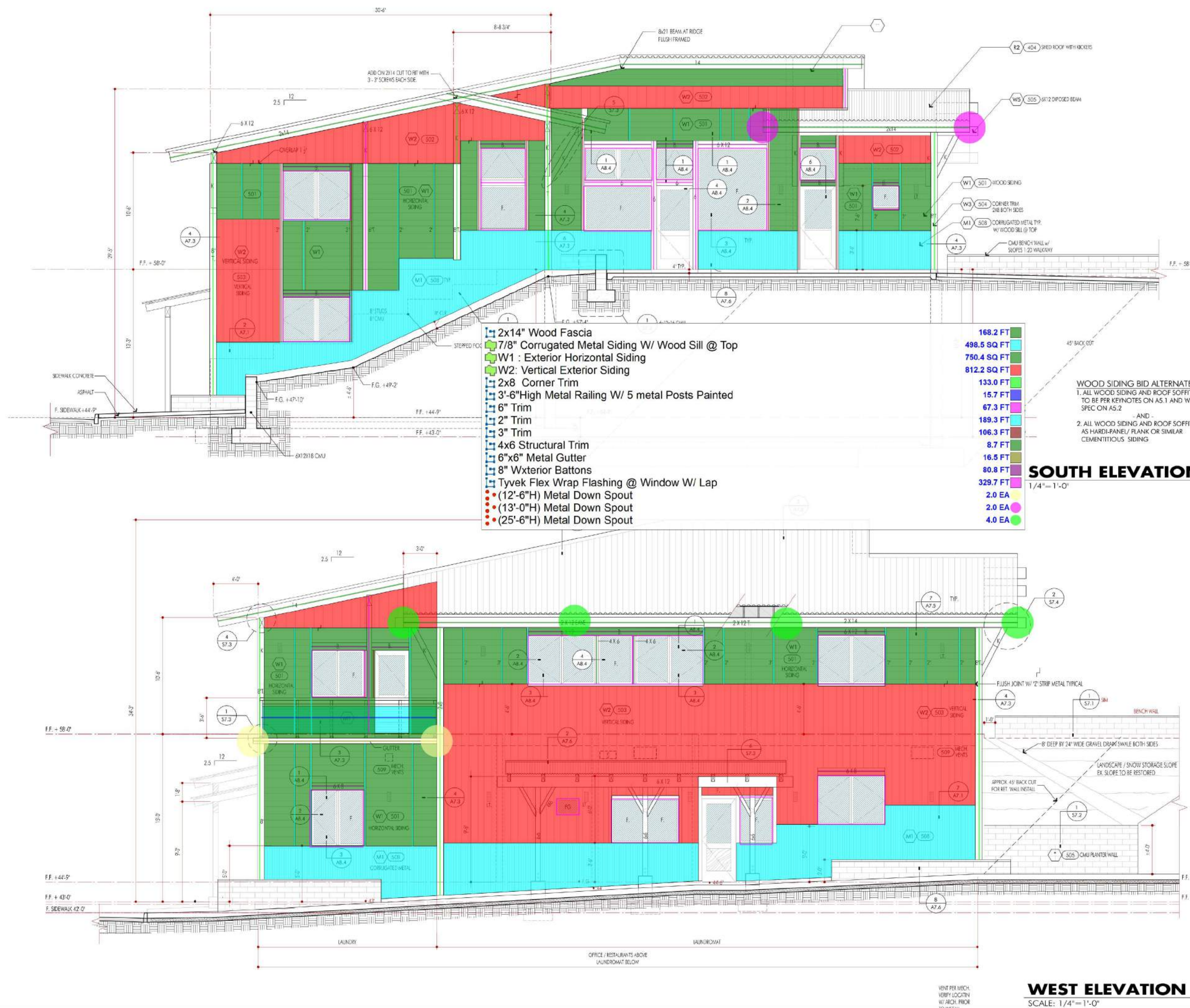
EAST-NORTH - EXT. ELEV.

SHEET TITLE

A5.2

SHEET NO.





## EXT. ELEVATION KEYNOTES

- GENERAL  
ALWAYS REFER TO THE GENERAL NOTES, SPECIFICATIONS, KEYNOTES AND REFERENCED AND RELATED PLANS, SECTIONS, ELEVATIONS AND DETAILS.
- A. RAFTERS, BEAMS & POSTS: ALL EXPOSED STRUCTURAL FRAMING SHALL BE F.O.H.C. SELECT STRUCTURAL. CONTRACTOR SHALL PROVIDE A BID ALTERNATE FOR D.F. NO. 1, SELECTED FOR APPEARANCE & STRAIGHTNESS. ALL EXPOSED FRAMING (INCLUDING BLOCKING) TO BE CONSIDERED FINISH WORK. SPECIAL CARE TO BE TAKEN WHEN NAILING, BOLTING OR SCREWING. ANY AND ALL FASTENERS ARE TO ALIGN VERTICALLY & HORIZONTALLY. SPICES ARE TO OCCUR ONLY WHERE SPECIFICALLY INDICATED OR WITH ARCHITECT'S APPROVAL. SEE ALSO 'EXPOSED LUMBER & TRIM NOTE' ON SHEET A5.2 & COLOR FINISH NOTES ON SHEET A8.1
- B. STRUCTURAL SYSTEM: STRUCTURAL COMPONENTS OF THE BUILDING ARE SHOWN IN THESE ELEVATIONS & SECTIONS FOR GENERAL REFERENCE PURPOSES ONLY. SEE STRUCTURAL FRAMING PLANS, DETAILS AND NOTES TO PROPERLY UNDERSTAND THE STRUCTURAL SYSTEM AND ALL OF ITS COMPONENTS.
- C. EXTERIOR FINISHES: ALL FINISHES EXTEND UP TO THE UNDERSIDE OF THE ROOF, WHETHER GRAPHICALLY SHOWN, BLOCKED OUT, OR NOT.
- D. FINISH GRADE: ALSO REFER TO PLANS FOR SITE SPECIFIC ELEVATIONS. FINISH GRADE SHALL SLOPE AWAY FROM BUILDING PER ADA REG. (1:20) AT MIN. 1/2" FOR 5'-0" MIN. TYP.
500. EXPOSED LUMBER & TRIM NOTE: ALL EXPOSED STRUCTURAL FRAMING & EXT. TRIM WORK SHALL BE F.O.H.C. SELECT STRUCTURAL, HAND SELECTED FOR APPEARANCE & STRAIGHTNESS. ALL EXPOSED FRAMING (INCLUDING BLOCKING) TO BE CONSIDERED FINISH WORK. SPECIAL CARE TO BE TAKEN WHEN NAILING, BOLTING OR SCREWING. ANY AND ALL FASTENERS ARE TO ALIGN VERTICALLY & HORIZONTALLY. ALL SURFACES ARE TO BE SANDED SMOOTH READY FOR STAIN FINISH & HAVE 1/8" RADIUS ROUTED EDGES (AFTER FABRICATION), U.N.O. EXCEPT AGAINST WALLS AND BUTTED EDGES (WHERE EDGES ARE TO BE SQUARE) SPICES ARE TO OCCUR ONLY WHERE SPECIFICALLY INDICATED OR WITH ARCHITECT'S APPROVAL. SPICES ARE TO BE HALF LAP JOINTED. GRAIN PATTERN AND WOOD COLOR ARE TO MATCH AT ALL SPICES AND BUTTED CORNERS. TRIMWORK IS TO BE SET IN CONTINUOUS BED OF PAINTABLE SEALANT AND WIPED CLEAN AND SQUARE (NOT COVED) @ JOINT WHERE VISIBLE. EXTERIOR TRIMWORK IS TO BE SCREWED WITH 2- 8X4 BLACK FIN/TRIM SCREWS BY GRK FASTNERS @ 16" O/C (TO STUDS) ALIGNED VERTICALLY AND HORIZONTALLY. ALL MEMBERS ARE TO BE SET HORIZONTALLY LEVEL BY LASER TRANSIT OR SIMILAR AND SET VERTICALLY PLUMB.
501. HORIZ. SIDING: RANDOM 1X6, 1X8, 1X10 T&G 1X8 CEDAR SIDING OR EQUAL WITH OIL STAIN FINISH. AS SHOWN ON THESE ELEVATIONS. PROVIDE 2 - 8D FINISH NAILS @ 16" O.C. W/ FLUSH HEADS TYP. ALIGN NAILS BEHIND BATTENS WHERE POSSIBLE. BATTENS ARE 2X2 & 3/2 CEDAR W/ 5" SCREWS @ 18" O.C. PROVIDE CONTINUOUS TYVEK HOUSEWRAP BEHIND ALL EXTERIOR SIDING TYP. SEE ALSO REFERENCED DETAILS. SEE ALSO FINISH SCHEDULE FOR ADDITIONAL INFORMATION. SEE WUI SPEC A5.2.
502. VERTICAL SIDING: 1X10 T&G SQUARE BOARDS, CEDAR OR EG. W/ 8D @ 16" O.C. VERTICAL PER DETAIL. SANDED AND OIL STAIN FINAL FINISH ORGANIZED GALVANIZED NAILING / EXPOSED HEADS - NO FILLER. SEE WUI SPEC A5.2
503. RANDOM VERTICAL SHIPLAP SIDING-RANDOM VERTICAL SIDING 1X6 (40%), 1X8 (40%), 1X10 (20%) SHIPLAP FULL LENGTHS - NO SPICES, IN RANDOM PATTERN - NO REPEATING. SEE DETAILS AND WUI SPEC ON A5.2
504. EXTERIOR TRIM: ALL EXPOSED TRIM TO BE 2X D.F.#1 W/ SQUARE EDGES U.N.O. HAND SELECTED FOR APPEARANCE & STRAIGHTNESS. SCREWED W/ 4" TRIM SCREWS (BY GRK FASTENERS) IN ORGANIZED, CONSISTENT PATTERN, READY FOR STAIN FINISH. SEE ALSO REFERENCED DETAILS & 'EXPOSED LUMBER & TRIM NOTE'
505. EXPOSED CMU: 6"X12"X12" EXPOSED CMU PER EXTERIOR ELEVATIONS &/OR PLANS. SEE REFERENCED DETAILS FOR REINFORCING & FOOTINGS. NOTE: ALL OPENINGS WITHIN BLOCK WALLS ARE TO OCCUR IN BLOCK MODULES - NO CUT BLOCKS
506. EXPOSED CONCRETE FINISH: WHERE CONCRETE FOOTINGS ARE INDICATED TO BE EXPOSED, WHERE UPPER SURFACE OF EXPOSED CONCRETE IS VISIBLE PROVIDE 1/2" CHAMFERED EDGE TYP. SEE ALSO REFERENCED DETAILS.
507. GARAGE DOOR: INSULATED SECTIONAL ROLL UP GARAGE DOOR. PANELS TO BE EQUAL SIZED AND DIVIDED AS SHOWN. PROVIDE SHOP DRAWINGS FOR APPROVAL. CORRUGATED WALL PANELS. 24GA. GALVANIZED STEEL WALL PANELS W/ SEAM CAP BY CUSTOM-BUILT METALS. OR ARCHITECT APPROVED EQUAL. INSTALL PANELS OVER CONTINUOUS GRADE ICE/WATER SHIELD HIT W.P. MEMBRANE W/ CONCEALED PANEL CLIPS BY MANUFACTURER TYP.
509. VENTS: VENT LOCATION PER MECH PLANS. VERIFY FINAL LOCATION WITH ARCH PRIOR TO INSTALLATION. INTENT IS FOR ALL TO BE INSTALLED IN AN CLEAN ORGANIZED FASHION AND COMPLY WITH CBC 706.1 / CRC R337.6. PLANTERS: 6"X10"X16" NATURAL CONC. CMU BLOCK RAKED JOINT 3" AND WEEP HOLES WHERE SHOWN. INTERIOR OF PLANTER IS WATERPROOF COATING AND HAS HOSE BIB FOR WATERING. BUILDING WALL HAS WATERPROOFING. SEE DETAILS
510. INTERIOR OF PLANTER IS WATERPROOF COATING AND HAS HOSE BIB FOR WATERING. BUILDING WALL HAS WATERPROOFING. SEE DETAILS

### JUNE LAKE BUSINESS CENTER PHASE 1

2784 CA HWY 158  
JUNE LAKE, CA 23529

JOB TITLE ADDRESS  
OWNERS REPRESENTATIVE

DON MORTON  
PO BOX 237  
JUNE LAKE, CA 93529

Copyright 1972 - D.S. Ewing Architects, Inc.  
All rights reserved. Designs, Drawings and Specifications as instruments of service are and shall remain the property of the Architect whether the project for which they are made is executed or not. They are not to be used on other projects or extensions to this Project except by agreement in writing and with appropriate compensation to the Architect.

### D.S. EWING ARCHITECTS INC. A.I.A.

723 E. California Blvd.  
Pasadena, CA 91106  
office: 626.584.0860  
fax: 626.584.5905  
ewingarchitects.com

These drawings are to be considered preliminary and are not approved for construction until the owner and the Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents and conditions as set forth in these documents.

OWNER  
ARCHITECT  
CONTRACTOR

JOB #: 19-932  
DRAWN LAST: EWING ARCHITECTS  
SHEET DATE: Nov. 1, 23  
PLOTTED: Nov. 1, 23

### REVISIONS

9/20/22 - RENUMBERED SHEET  
4/25/23 - REV. PER DS MARKUPS

MONO COUNTY STAMPS

SOUTH-WEST EXT. ELEV.

SHEET TITLE

A5.1

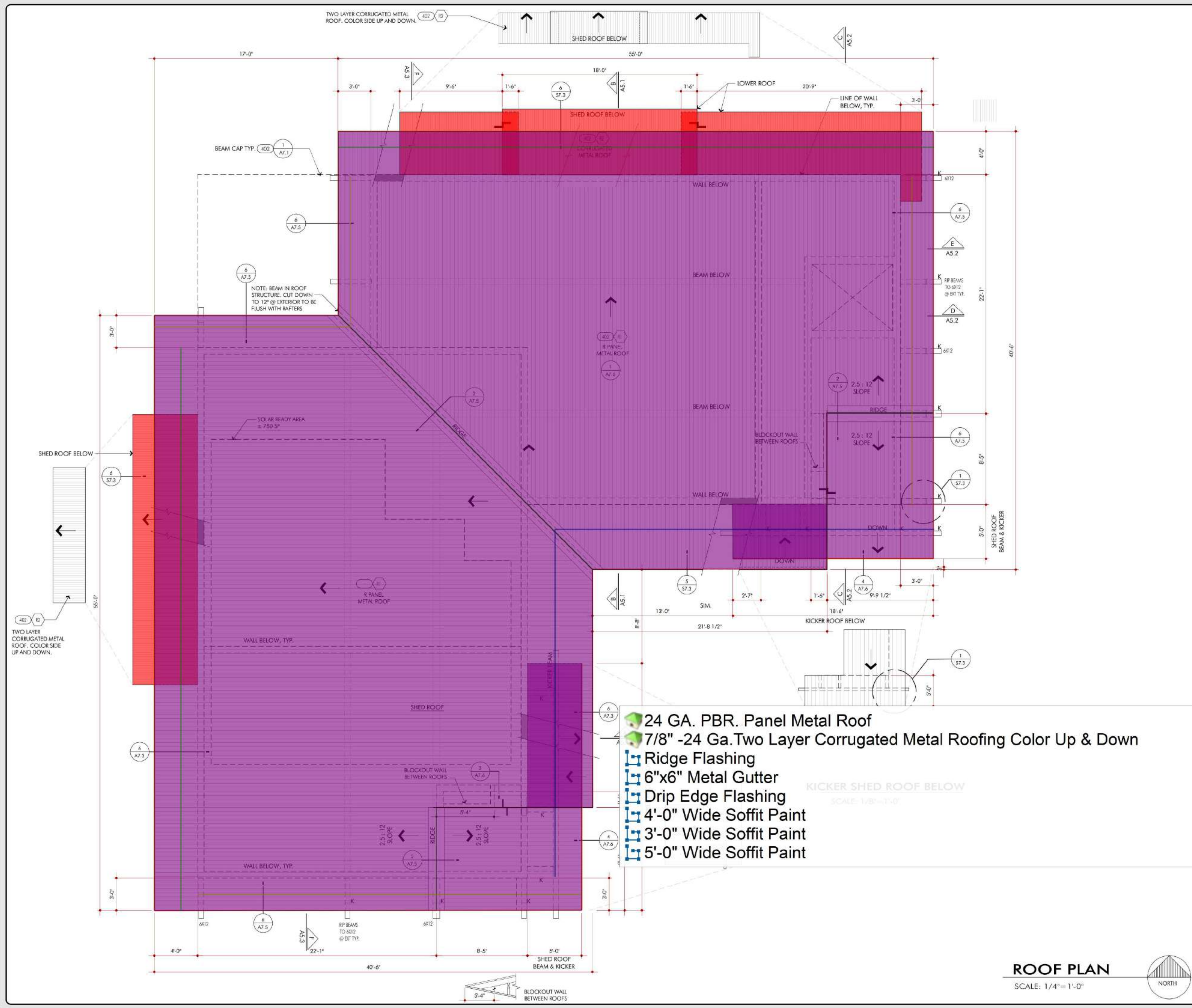
SHEET NO.

PROGRESS PRINTS  
NOT FOR CONSTRUCTION  
DATE:

### WEST ELEVATION

SCALE: 1/4" = 1'-0"





ROOF PLAN  
KEYNOTES

- GENERAL  
ALWAYS REFER TO THE GENERAL NOTES, SPECIFICATIONS, KEYNOTES AND REFERENCED AND RELATED PLANS, SECTIONS, ELEVATIONS AND DETAILS.
- A. ROOF PITCHES: ALL ROOF PITCHES ARE 2.5:12 AT SLOPED ROOFS, U.N.C.
- B. ROOF ACCESSORIES: ALL ROOF ACCESSORIES, E.G. VENT RISERS, EXHAUST FLUES, ETC. SHALL BE FINISHED TO MATCH THE ROOFING COLOR OR ARCHITECT APPROVED ALTERNATE COLOR.
- C. ROOF PENETRATIONS: ALL PENETRATIONS THROUGH ROOF FOR VENTS, FLUES, ETC. SHALL BE LOCATED SO AS TO MINIMIZE VISIBILITY FROM ANY POINT ON SITE. GANG VENTS/FLUES AS MUCH AS POSSIBLE AND AS PERMITTED BY CODE OR MFG. SPECIFICATIONS. PENETRATIONS IN OR NEAR VALLEYS AND HIPS ARE NOT ACCEPTABLE.
- D. KEYNOTES: CATEGORIZED BY DRAWING TYPE, SUCH AS FLOOR PLAN KEYNOTES ARE 200 SERIES, REFLECTED CEILING PLAN KEYNOTES ARE 300 SERIES, ETC. ANY GIVEN KEYNOTE NUMBER HAS THE SAME DEFINITION THROUGHOUT THE PLANS; THEREFORE ONE NUMBER WILL NOT HAVE TWO OR MORE DEFINITIONS IF FOUND ON DIFFERENT SHEETS IN THIS SET. THE NUMBERS ALSO CORRESPOND TO THE SHEETS FIRST NUMBER, SUCH AS FLOOR PLANS (A2.1, ETC.) WILL HAVE 200 SERIES KEYNOTES.

- ALL ROOFS SHALL INCORPORATE THE FOLLOWING SPECIFICATIONS:
- A. CONTRACTOR SHALL PROVIDE INSTALLATION & ALL REQUIRED ACCESSORIES, ANCHOR CLIPS, CLOSURES, ETC., FOR A MAXIMUM MANUFACTURERS WARRANTY. FLASH ALL ROOFS TO WALLS PER MANUFACTURER'S SPECIFICATIONS. ROOFING COLOR TO BE PER FINISH SCHEDULE. CONTRACTOR TO PROVIDE SAMPLE FOR ARCHITECT'S APPROVAL PRIOR TO ORDER.
- B. CONTRACTOR SHALL PROVIDE A 10 YEAR MANUFACTURER'S WARRANTY FOR ALL ROOFING TYP.
- C. CLASS A RATING IS REQUIRED.

PLYWOOD SHEATHING: CDX-1 (WITH EXTERIOR GLUES) ROOF SHEATHING. SURFACE IS TO BE EXAMINED AND ACCEPTED/APPROVED BY ROOFING INSTALLER PRIOR TO ROOFING INSTALLATION. USE 5/8" THICK PLYWOOD ON ALL SLOPES.

FLASHING: ALL FLASHING IS TO BE 24 G.A. G90 RATED BONDERIZED SHT. METAL FLASHING INSTALLED OVER A MINIMUM 36" WIDE UNDERLAYMENT OF ONE LAYER OF 72lb MINERAL-SURFACED NON-PERFORATED CAP SHEET. ALL EXPOSED EDGES OF FLASHING SHALL HAVE A 1/2" MIN. FOLD BACK UNDER TYP. FLASHING SHALL BE USED @ ALL INTERSECTIONS OF VERTICAL OR PROJECTING SURFACES THROUGH THE ROOF OR AGAINST WHICH THE ROOF ABUTS SUCH AS WALLS, PARAPETS, CHIMNEYS, VENTS ETC. ALL FLASHING IS CUSTOM FABRICATED TO BE MINIMALLY VISIBLE PER REF. DETAILS.

ICE & WATER SHIELD: PROVIDE W.R.GRACE MEMBRANE CONTINUOUSLY AT ALL VALLEYS, ROOF TRANSITIONS AND CRICKETS FOR A MINIMUM OF 18" UP EACH SIDE.

DRIP CAP: 24 G.A. G90 RATED BONDERIZED SHT. METAL DRIP SECURED DIRECTLY TO WOOD SHEATHING. UNDERLAYMENT TO RUN ABOVE & OVERHANG METAL DRIP 1/16".

HEADWALL TRANSITION: W/ 24 G.A. G90 RATED BONDERIZED SHT. METAL FLASHING PER REFERENCED DETAILS.

- KEYNOTES:
400. R PANEL METAL ROOF: 24GA. 1" PBR PANELS IN CONTINUOUS LENGTHS w/ ANTIQUE PATINA COLOR BY WESTERN STATES METAL ROOFING OR APPROVED EQUAL. APPLY CORRUGATED ROOF PER REFERENCED DETAILS TYP. INSTALL PER MANUFACTURERS RECOMMENDATIONS. ALL METAL PANEL ROOFING MATERIALS SHALL COMPLY WITH THE STDs IN TABLE R905.10.3(1) OF THE CBC. SEE ALSO COLOR/FINISH SCHEDULE SHT.A8.1
401. CORRUGATED METAL ROOF: 24GA. 7/8" CORRUGATED ROOF PANELS IN CONTINUOUS LENGTHS w/ ANTIQUE PATINA COLOR BY WESTERN STATES METAL ROOFING OR APPROVED EQUAL. APPLY CORRUGATED ROOF PER REFERENCED DETAILS TYP. INSTALL PER MANUFACTURERS RECOMMENDATIONS. WHERE EXPOSED EAVES ARE PRESENT, A SECOND LAYER OF CORRUGATED METAL ROOFING SHALL BE INSTALLED WITH FINISH FACE-DOWN. ROOFING PANELS SHALL BE HALF-LAPPED AT EAVES FOR MAXIMUM WATER PROTECTION. PROVIDE SAMPLE FOR ARCHITECTS APPROVAL PRIOR TO PURCHASE/ORDER. ALL METAL PANEL ROOFING MATERIALS SHALL COMPLY WITH THE STDs IN TABLE R905.10.3(1) OF THE CBC. SEE ALSO COLOR/FINISH SCHEDULE SHT.A8.1
402. BEAM CAP: 24GA. G90 RATED BONDERIZED SHEET METAL CAP SECURE OVER EXPOSED TO WEATHER BEAM TOP. TYPICAL. SEE REFERENCED DETAIL.

4083.3 SQ FT
467.6 SQ FT
52.6 FT
151.4 FT
336.9 FT
107.1 FT
98.1 FT
67.2 FT

ROOF PLAN  
SCALE: 1/4"=1'-0"



PROGRESS PRINTS  
NOT FOR CONSTRUCTION  
DATE:

Contractor shall verify all field conditions for conformance to drawings before starting construction. All measurements are subject to verification by the contractor and he shall notify Ewing Architects Inc. of any discrepancies prior to fabrication or construction.

JUNE LAKE  
BUSINESS CENTER  
PHASE 1

2784 CA HWY 158  
JUNE LAKE, CA 23529

JOB TITLE + ADDRESS  
OWNERS REPRESENTATIVE  
  
DON MORTON  
PO BOX 237  
JUNE LAKE, CA 93529

Copyright 1972 - D.S. Ewing Architects, Inc. All rights reserved. Designs, Drawings and Specifications as instruments of service are and shall remain the property of the Architect whether the project for which they are made is executed or not. They are not to be used on other projects or alterations to this Project except by agreement in writing and with appropriate compensation to the Architect.

D.S. EWING  
ARCHITECTS  
INC. A.I.A.

723 E. California Blvd.  
Pasadena, CA 91106  
office: 626.584.0860  
fax: 626.584.5905  
ewingarchitects.com

These drawings are to be considered preliminary and are not approved for construction until the owner and the Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents and conditions as set forth in these documents.

OWNER  
  
ARCHITECT  
  
CONTRACTOR

JOB #: 19-932  
  
DRAWN LAST: EWING  
ARCHITECTS  
  
SHEET DATE: Nov. 1, 23  
  
PLOTTED: Nov. 1, 23

REVISIONS

9/20/22 - REORGANIZED SHEET FOR DETAILS AND KEYNOTES  
4/25/23 - REV. PER DS MARKUPS

MONO COUNTY STAMPS

FINISH ROOF PLAN

SHEET TITLE

A4.1

SHEET NO.



GENERAL:  
ALWAYS REFER TO THE GENERAL NOTES, SPECIFICATIONS, KEYNOTES  
AND REFERENCED AND RELATED PLANS, SECTIONS, ELEVATIONS AND  
DETAILS.

A. CEILING FIXTURE LOCATIONS: ALL CEILING LIGHT FIXTURES ARE CENTERED AND/OR SYMMETRICALLY SPACED WITHIN A ROOM OR BAY, UNLESS NOTED OTHERWISE (U.N.O.). SEE ELECTRICAL AND MECHANICAL PLANS FOR FURTHER INFORMATION; HOWEVER, THE ARCHITECTURAL PLANS SHALL TAKE PRECEDENCE FOR LOCATIONS OF ALL FIXTURES.

B. CEILING FIXTURE TRIM COLOR: ALL LIGHT FIXTURE TRIMS, CEILING AIR DIFFUSERS, ETC. ARE TO MATCH THE CEILING COLOR (VIA THE FACTORY OR FIELD PAINTING).

REFLECTED CEILING PLAN KEYNOTES:

SEE ALSO SHT. A3.1 FOR NOTES & REQUIREMENTS.

**310. LIGHTING:** LOCATIONS OF LIGHT FIXTURES WITHIN A SPACE ARE TO BE POSITIONED EXACTLY AS INDICATED ON SHEET E2.1. IN GENERAL ALL LIGHT FIXTURES ARE TO BE CENTERED WITHIN BAYS AND EQUALLY SPACED AND ALIGNED. FIXTURES LOCATED ADJACENT TO BEAMS, SOFFITS ETC. ARE TO BE SET OFF DISTANCE AS INDICATED AND CONSISTENTLY POSITIONED THEREAFTER. IF FOR SOME REASON A FIXTURE CANNOT BE LOCATED AS INDICATED ARCHITECT IS TO BE NOTIFIED IMMEDIATELY. FRAMING MAY NEED TO BE REMOVED AND READED OFF AS DIRECTED BY ARCHITECT. ELECTRICAL ENGINEER ALL LIGHTING, OUTLET & JACK LOCATIONS SHALL BE LOCATED WITH TAPE FOR ARCHITECT & OWNER APPROVAL PRIOR TO INSTALLATION OF ALL BOXES.

**311. SMOKE ALARMS:** PROVIDE APPROVED HARDWIRED INTERCONNECTED COMBINATION SMOKE & CARBON MONOXIDE DETECTORS, WITH BATTERY BACKUP, IN EACH SLEEPING ROOM, AREA SERVING THE SLEEPING ROOMS AND AT THE TOP OF STAIRWAYS. ALL SMOKE ALARMS ARE TO BE PHOTOELECTRIC OR A SMOKE/CO COMBINATION TYPE AND ASPHOTOELECTRIC/IONIZATION 120w+ w/ SECONDARY POWER. AND ALL ALARMS SHALL BE INTERCONNECTED. ALL SMOKE ALARMS ARE TO BE INTERCONNECTED FOR ALARM SOUNDS. ALL SOUNDS ARE TO PRODUCE A CODED TEMPORAL PATTERN. ALL SMOKE ALARMS ARE TO BE L1217 AND CALIFORNIA STATE FIRE MARSHAL LISTED TYPE. ALL ALARMS ARE TO BE MANUFACTURED BY THE SAME COMPANY AND COMPATIBLE WITH EACH OTHER. SMOKE ALARMS ARE NOT PERMITTED TO BE INSTALLED WITHIN 3-FEET OF ANY SUPPLY OR RETURN AIR REGISTER OR OPENING INTO A BATH OR SHOWER AREA. INSTALL IN ACCORDANCE WITH NFPA 72, SEE 8.50 SH1.02. ALL SMOKE ALARMS SHALL BE MAINTAINED IN GROUP OCCUPANCIES IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN FIRE CODE 907.2.11, BUILDING CODE 907.2.11 & RESIDENTIAL BUILDING CODE 314.

**JUNE LAKE  
BUSINESS CENTER  
PHASE 1**

2784 CA HWY 158  
JUNE LAKE, CA 23529

JOB TITLE • ADDRESS  
OWNERS REPRESENTATIVE

DON MORTON  
PO BOX 237  
JUNE LAKE, CA 93529

Copyright 1972 - D.S. Ewing Architects, Inc.  
All rights reserved. Designs, Drawings and  
specifications as instruments of service are  
and shall remain the property of the  
Architect whether the project for which they  
are made is executed or not. They are not to  
be used on other projects or extensions to  
this Project except by agreement in writing  
and with appropriate compensation to the  
Architect.

**D.S. EWING**  
ARCHITECTS  
INC. A.I.A.

723 E. California Blvd.  
Pasadena, CA 91106  
office: 626.584.0860  
fax: 626.584.5905  
ewingarchitects.com

These drawings are to be considered preliminary and are not approved for construction until the owner and the Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents and conditions as set forth in these documents.

OWNER

ARCHITECT

CONTRACTOR

JOB #: 19-932

DRAWN LAST: EWING  
ARCHITECTS

SHEET DATE: Nov. 1, 23

PLOTTED: Nov. 1, 23

## REVISIONS

4/25/23 - REV. PER DS MARKUPS

---

---

— 100 —

---

— 100 —

REFLECTED CEILING  
75.000

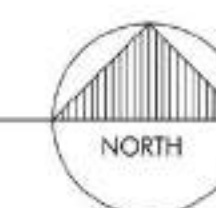
Page 10 of 10

---

A3.2



SCALE: 1/4"=1'-0"





Contractor shall verify all field conditions for conformance to drawings before starting construction. All measurements are subject to verification by the contractor and he shall notify Ewing Architects Inc. of any discrepancies prior to fabrication or construction.

## JUNE LAKE BUSINESS CENTER PHASE 1

2784 CA HWY 158  
JUNE LAKE, CA 23529

JOB TITLE + ADDRESS

DON MORTON  
PO BOX 237  
JUNE LAKE, CA 93529

Copyright 1972 - D.S. Ewing Architects, Inc. All rights reserved. Designs, Drawings and Specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. They are not to be used on other projects or extensions to this Project except by agreement in writing and with appropriate compensation to the Architect.

## D.S. EWING ARCHITECTS INC. A.I.A.

723 E. California Blvd.  
Pasadena, CA 91106  
office: 626.584.0860  
fax: 626.584.5905  
ewingarchitects.com

These drawings are to be considered preliminary and are not approved for construction until the owner and the Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents and conditions as set forth in these documents.

OWNER

ARCHITECT

CONTRACTOR

JOB #: 19-932

DRAWN LAST: EWING ARCHITECTS

SHEET DATE: May, 5, 23

PLOTTED: Nov, 1, 23

## REVISIONS

4/25/23 - REV. PER DS MARKUPS

MEMBER

WORKING SCHEDULE ON A8.2

INTERIOR LIGHT FIXTURES

RECESSED CAN LIGHT

CEILING MOUNTED LIGHT FIXTURE

4'-0" LOW PROFILE LED FIXTURE

EXTERIOR FIXTURES

INDICATES LOCATION OF EXTERIOR WALL MOUNTED LIGHT FIXTURES 75% MAX.

OUTLETS & SWITCHING

SINGLE POLE LIGHT SWITCH @ +4'-0" ABV F.F. TYP. U.N.O.

DATE:

MONO COUNTY STAMPS

FIRST FLOOR REFLECTED CEILING PLAN

SHEET TITLE

A3.1

SHEET NO.

## REF'L CEILING PLAN KEYNOTES

GENERAL  
ALWAYS REFER TO THE GENERAL NOTES, SPECIFICATIONS, KEYNOTES AND REFERENCED AND RELATED PLANS, SECTIONS, ELEVATIONS AND DETAILS.

A. M, E & P PLANS: MECHANICAL, ELECTRICAL & PLUMBING PLANS ARE 'SCHEMATIC' ONLY. ARCHITECTURAL PLANS ARE TO GOVERN FOR LOCATIONS, ARRANGEMENT, ETC. NOTIFY ARCHITECT PRIOR TO WORK OF ANY CONFLICTING INFORMATION.

B. CONCEALED PIPING, DUCTS, CONDUIT: ALL PIPING, DUCTS, AND CONDUIT ARE TO BE CONCEALED IN WALLS, CEILINGS, OR SOFFITS U.N.O. VERIFY LOCATION OF STRUCTURAL MEMBERS PRIOR TO INSTALLATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES. DO NOT CUT OR DRILL ANY STRUCTURAL MEMBERS WITHOUT VERIFICATION FROM ARCHITECT AND/OR STRUCTURAL ENGINEER.

C. EXPOSED PIPING/DUCTS/ETC.: ALL VISIBLE PIPES (ELEC., PLUMBING, ETC.), DUCTWORK, BRACING, EQUIPMENT, ETC. ARE TO BE ARRANGED NEATLY, IN A 'NAVAL-SHIP-LIKE' QUALITY AND MANNER. MINIMAL CONNECTORS, STRAIGHT, ORGANIZED RUNS, ALL PIPING LINED UP AND EVENLY SPACED AS MUCH AS POSSIBLE. ALL SUCH ELEMENTS ARE TO BE PAINTED SAME COLOR AS CEILING; TYP. U.N.O.

D. CEILING FIXTURE LOCATIONS: LOCATIONS OF LIGHT FIXTURES WITHIN A SPACE ARE TO BE POSITIONED EXACTLY AS INDICATED ON PLAN. ALL CEILING LIGHT FIXTURES ARE CENTERED AND/OR SYMMETRICALLY SPACED WITHIN A ROOM OR BAY, UNLESS NOTED OTHERWISE (U.N.O.). FIXTURES LOCATED ADJACENT TO BEAMS, SOFFITS ETC. ARE TO BE SET OFF DISTANCE AS INDICATED AND CONSISTENTLY POSITIONED THEREAFTER. IF FOR SOME REASON FIXTURE CANNOT BE LOCATED AS INDICATED ARCHITECT IS TO BE NOTIFIED IMMEDIATELY. FRAMING MAY NEED TO BE REMOVED AND HEADED OFF AS DIRECTED BY ARCHITECT OR STRUCT. ENGINEERS. SEE ELECTRICAL AND MECHANICAL PLANS FOR REFERENCE INFORMATION. HOWEVER, THE ARCHITECTURAL PLANS SHALL TAKE PRECEDENCE FOR LOCATIONS OF ALL FIXTURES.

301. EXPOSED LUMBER: ALL EXPOSED HEADERS, BEAMS AND POSTS CEILING FINISHES FROM COLOR MATCHING THE FINISHED CEILING AND FINISHES TO MATCH THE CEILING. HAND SELECTED FOR SIMILAR GRAIN PATTERNS TO ADJACENT SURFACES.

302. GYP BOARD FINISH: WHERE INDICATED, TYPICALLY FLAT CEILING FINISH. CEILING ARE TO BE 5/8" GYP. BOARD W/ FAIRFED EDGES, SANDED SMOOTH. ORIENT BOARDS & INSTALL PER MANUFACTURER FOR MINIMUM SEAMS. CONTRACTOR TO PROVIDE SAMPLE IN FIELD FOR ARCHITECTS REVIEW AND APPROVAL. SEE ALSO COLOR & MATERIAL FINISH NOTES ON SHT. A8.1. ALL CEILING BOARD IS TO BE GLUED & SCREWED NOT NAILED.

303. WOOD CEILING: 1X8/1X10/1X12 T&G CEILING PER FINISH SCHEDULE SHEET A8.1. LAY PLANKS IN DIRECTION AS SHOWN. ALL PIECES TO BE LONGEST LENGTHS POSSIBLE (2' MIN. LENGTH) BLIND NAIL AND FINISH PER SCHEDULE. CONTRACTOR TO PROVIDE 4" SQ. FIELD SAMPLES FOR ARCHITECTS APPROVAL. INTENT WOULD BE TO PROVIDE 1/8" EXPANSION SPACE AROUND PERIMETER W/ 3/4"X1/2" W.R.C. CONTINUOUS COVE TRIM. LONGEST LENGTHS TYP.

304. SOFFIT BOARD: 1X8/1X10/1X12 T&G SOFFIT BOARDS. BLIND NAILED. SEE ALSO REFERENCED DETAILS. ALL FASTENERS FOR EXTERIOR USE SHOULD BE CORROSION RESISTANT TYP.

305. CORRUGATED METAL: INSTALL PER KEYNOTE 401 ON A8.1 AND DETAILS. AT EXPOSED RAFTERS AND TRUSSES A SECOND LAYER OF CORRUGATED METAL ROOFING SHALL BE INSTALLED WITH FINISH FACE-DOWN.

306. EXPOSED RAFTERS: EXPOSED 'FINISHED' RAFTERS AT COVERED PORCHES. HAND SELECT FOR APPEARANCE & STRAIGHTNESS. SEE ALSO EXPOSED LUMBER & TRIM NOTE AS 2 & REFERENCED DETAILS.

307. NOT USED.

309. SOFFIT: ALL SOFFITS TO BE FURRED DOWN W/ 2X6 FRAMING PER REFERENCED DETAILS. PROVIDE BRACING AND/OR BLOCKING AS REQUIRED.

SEE ALSO SHT. A3.2 FOR ADDITIONAL NOTES & REQUIREMENTS.

1658.6 SQ FT

687.5 SQ FT

12.0 FT

88.5 FT

88.5 FT

88.5 FT

275.4 SQ FT

21.7 FT

## LEGEND

MEMBER

WORKING SCHEDULE ON A8.2

INTERIOR LIGHT FIXTURES

RECESSED CAN LIGHT

CEILING MOUNTED LIGHT FIXTURE

4'-0" LOW PROFILE LED FIXTURE

EXTERIOR FIXTURES

INDICATES LOCATION OF EXTERIOR WALL MOUNTED LIGHT FIXTURES 75% MAX.

OUTLETS & SWITCHING

SINGLE POLE LIGHT SWITCH @ +4'-0" ABV F.F. TYP. U.N.O.

DATE:

MONO COUNTY STAMPS

FIRST FLOOR REFLECTED CEILING PLAN

SHEET TITLE

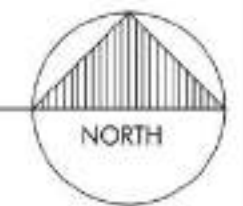
A3.1

SHEET NO.



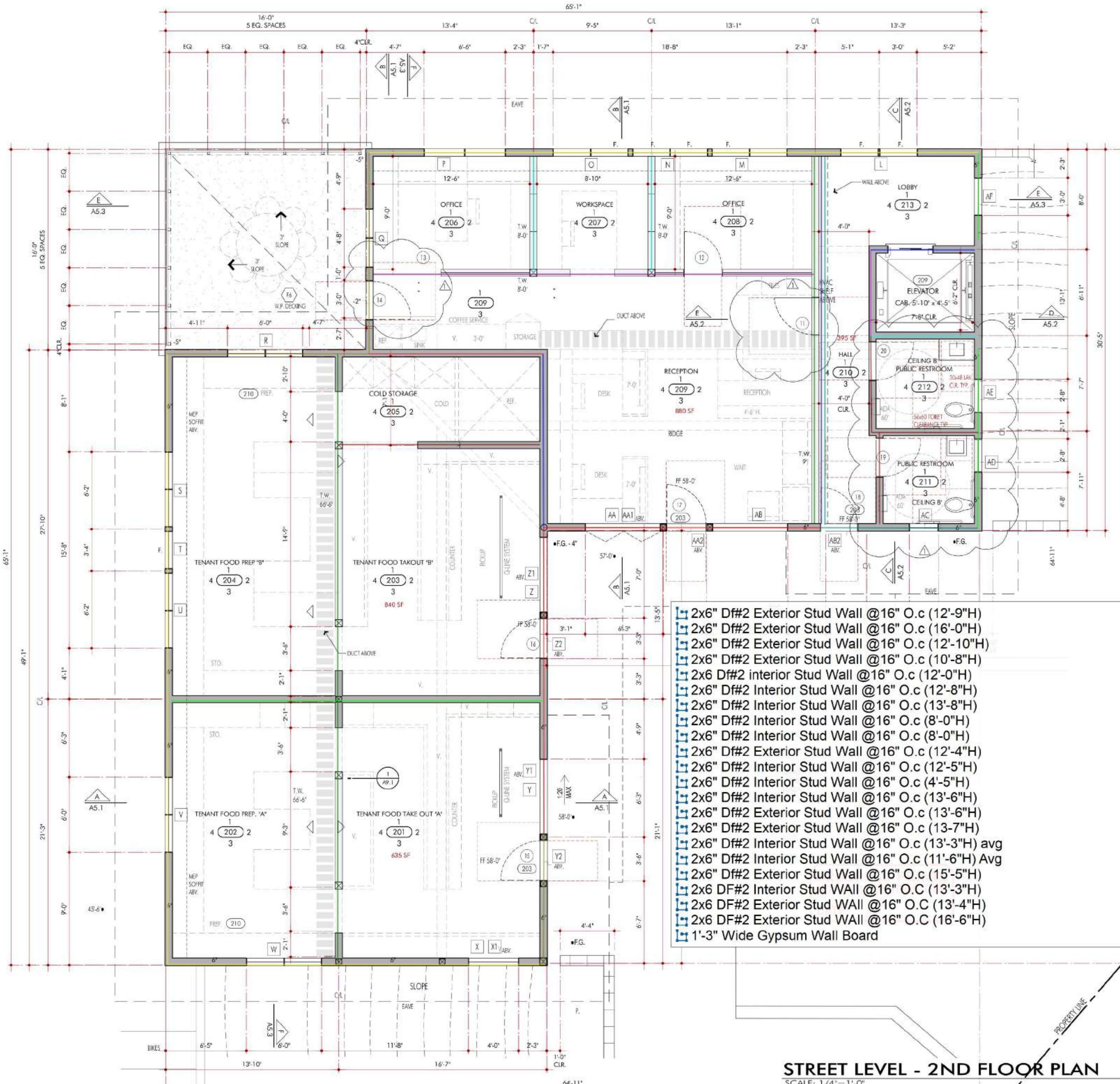
## FIRST FLOOR REFLECTED CEILING PLAN & EL. LIGHT FIXTURE PLAN (SEE ELECTRICAL PLAN)

SCALE: 1/4" = 1'-0"



PROGRESS PRINTS  
NOT FOR CONSTRUCTION  
DATE:





STREET LEVEL - 2ND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

## SECOND FLOOR PLAN KEYNOTES

- SEE SHT. A2.1 FOR ADDITIONAL FLOOR PLAN KEYNOTES
220. TENANT FOOD TAKEOUT: ROOM #S 201 AND 203. SPACES ARE "SHELLS" READY FOR TENANT IMPROVEMENT TAKE OUT ONLY. RESTAURANTS, NO DINING IS TO BE PROVIDED IN THE SPACES. TENANT LAYOUTS MUST BE SUBMITTED TO ARCHITECT FOR REVIEW BEFORE SUBMITTAL.
221. TENANT FOOD PREP. / KITCHENS: ROOM #S 202 AND 204. SHELL KITCHEN SPACES PROVIDE WATER, WASTE AND AIR CONNECTIONS FOR TENANTS. TENANTS TO PROVIDE FINAL KITCHEN DRAWINGS FOR HEALTH DEPARTMENT APPROVAL. TENANT LAYOUTS MUST BE SUBMITTED TO ARCHITECT FOR REVIEW BEFORE SUBMITTAL.
222. OFFICE SPACE: ROOM #S 205, 206, 207, 208. OFFICE SPACE FOR BUILDING OWNER AND PROPERTY MANAGEMENT COMPANY.
223. COMMON BUILDING AREAS: ROOM #S 209, 210, 211, 212. ACCESSIBLE RESTROOMS, HALLWAY AND ELEVATOR FOR PUBLIC ACCESS. RESTROOMS AND ELEVATOR LOBBY TO REMAIN UNLOCKED DURING BUSINESS HOURS.

### JUNE LAKE BUSINESS CENTER PHASE 1

2784 CA HWY 158  
JUNE LAKE, CA 23529

JOB TITLE \*ADDRESS  
OWNERS REPRESENTATIVE

DON MORTON  
PO BOX 237  
JUNE LAKE, CA 93529

Copyright 1972 - D.S. Ewing Architects, Inc.  
All rights reserved. Designs, Drawings and Specifications as instruments of service are and shall remain the property of the Architect whether the project for which they are made is executed or not. They are not to be used on other projects or extensions to this Project except by agreement in writing and with appropriate compensation to the Architect.

### D.S. EWING ARCHITECTS INC. A.I.A.

723 E. California Blvd.  
Pasadena, CA 91106  
office: 626.584.0860  
fax: 626.584.5905  
ewingarchitects.com

These drawings are to be considered preliminary and are not approved for construction until the owner and the Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents and conditions as set forth in these documents.

OWNER  
ARCHITECT  
CONTRACTOR

JOB #: 19-932  
DRAWN LAST: EWING  
ARCHITECTS  
SHEET DATE: Oct. 26, 23  
PLOTTED: Nov. 1, 23

### REVISIONS

9/20/22 - REORGANIZED SHEET FOR DETAILS AND KEYNOTES  
4/25/23 - REV. PER DS MARKUPS  
6/22/23 MONO COUNTY PLAN CHECK REVIEW

MONO COUNTY STAMPS

SECOND FLOOR PLAN

SHEET TITLE

A2.2

SHEET NO.

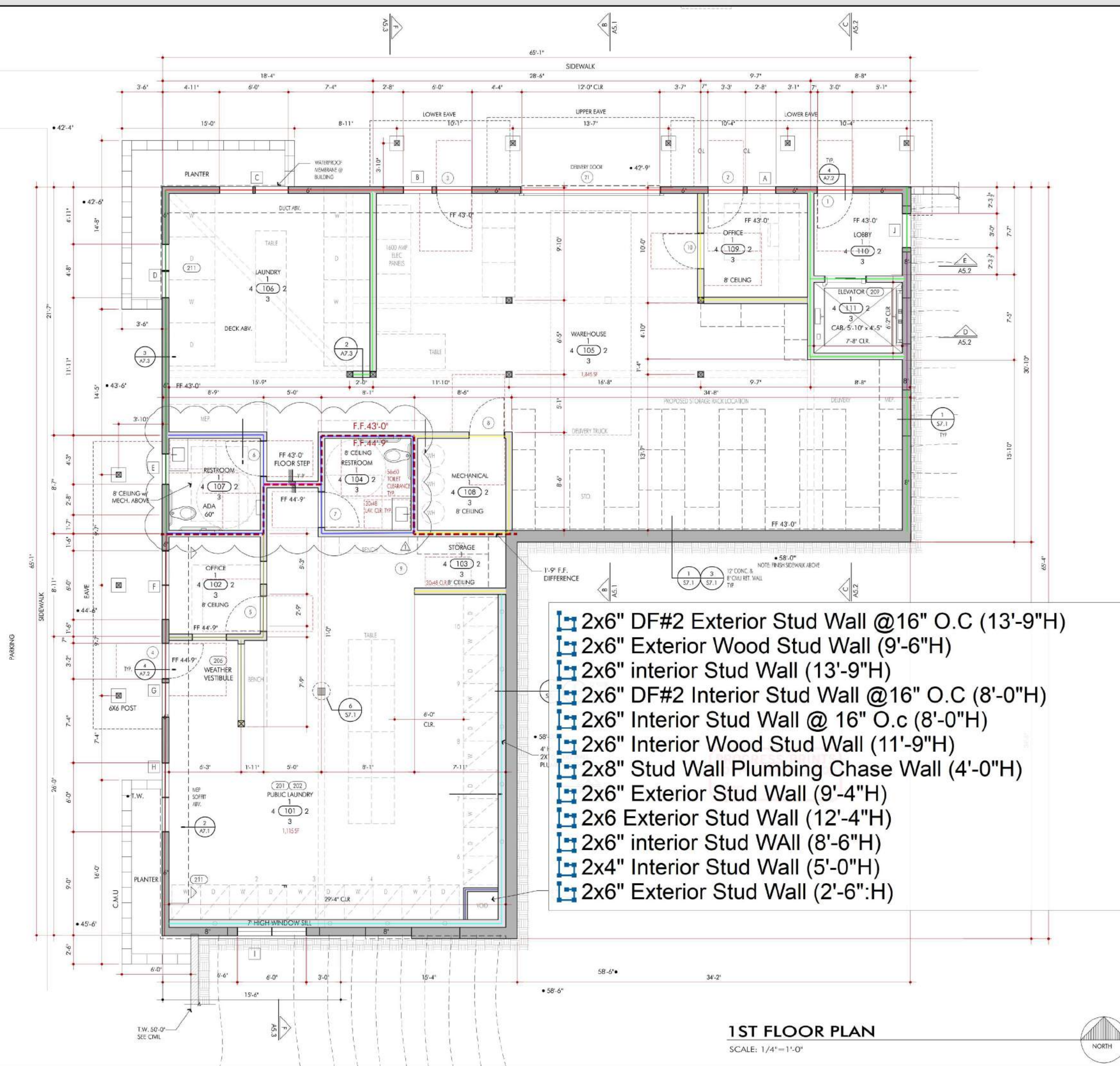
- 2x6" Df#2 Exterior Stud Wall @16" O.c (12'-9"H)
- 2x6" Df#2 Exterior Stud Wall @16" O.c (16'-0"H)
- 2x6" Df#2 Exterior Stud Wall @16" O.c (12'-10"H)
- 2x6" Df#2 Exterior Stud Wall @16" O.c (10'-8"H)
- 2x6 Df#2 interior Stud Wall @16" O.c (12'-0"H)
- 2x6" Df#2 Interior Stud Wall @16" O.c (12'-8"H)
- 2x6" Df#2 Interior Stud Wall @16" O.c (13'-8"H)
- 2x6" Df#2 Interior Stud Wall @16" O.c (8'-0"H)
- 2x6" Df#2 Interior Stud Wall @16" O.c (8'-0"H)
- 2x6" Df#2 Exterior Stud Wall @16" O.c (12'-4"H)
- 2x6" Df#2 Interior Stud Wall @16" O.c (12'-5"H)
- 2x6" Df#2 Interior Stud Wall @16" O.c (4'-5"H)
- 2x6" Df#2 Interior Stud Wall @16" O.c (13'-6"H)
- 2x6" Df#2 Exterior Stud Wall @16" O.c (13'-6"H)
- 2x6" Df#2 Exterior Stud Wall @16" O.c (13'-7"H)
- 2x6" Df#2 Interior Stud Wall @16" O.c (13'-3"H) avg
- 2x6" Df#2 Interior Stud Wall @16" O.c (11'-6"H) Avg
- 2x6" Df#2 Exterior Stud Wall @16" O.c (15'-5"H)
- 2x6 DF#2 Interior Stud Wall @16" O.C (13'-3"H)
- 2x6 DF#2 Exterior Stud Wall @16" O.C (13'-4"H)
- 2x6 DF#2 Exterior Stud Wall @16" O.C (16'-6"H)
- 1'-3" Wide Gypsum Wall Board

- 12.5 FT
- 22.1 FT
- 21.4 FT
- 97.3 FT
- 8.3 FT
- 6.9 FT
- 8.4 FT
- 23.5 FT
- 29.3 FT
- 32.1 FT
- 35.1 FT
- 29.4 FT
- 13.9 FT
- 29.6 FT
- 30.1 FT
- 13.9 FT
- 18.6 FT
- 16.0 FT
- 48.5 FT
- 10.4 FT
- 24.4 FT
- 29.3 FT

### LEGEND

- STEREO RETAINING WALLS: 2x6 D.F. no 2 or better studs @ 16" O.C. 1/2" CDX-1 plywood sheathing on 12" poured in place concrete retaining wall topped down grade min. 8" above the grade. See foundation plan and elevations for step.
- EXTERIOR WALL: EXTERIOR WALLS: 2x6 D.F. No.2 or better studs at 16" o/c, u.s.o. 1/2" CDX-1 plywood sheathing, R-22 (min.) insulation u.s.o. Finish per set. elevations
- 2x6 WALL U.S.O.
- INTERIOR WALLS: 2x6 D.F. No.2 or better studs at 16" o/c, u.s.o. Interior faces shall be covered with 5/8" Gypsum Board, u.s.o. 1/2" CDX-1 plywood sheathing where occurs
- PART HEIGHT: INTERIOR WALLS: 2x6 D.F. No.2 or better studs at 16" o/c, u.s.o. Interior faces shall be covered with 5/8" Gypsum Board, u.s.o. 1/2" CDX-1 plywood sheathing where occurs
- 2x6 RUNNING WALL: INTERIOR WALLS: 2x6 D.F. No.2 or better studs at 16" o/c, u.s.o. Interior faces shall be covered with 5/8" moisture resistant Gypsum Board, u.s.o.
- WALL ABOVE
- 18 X 16 CMU BENCH WALL
- LAYOUT DATUM: See also sht. A1.1. for overall dimensions & locate 104
- APPLIANCES PER SCHEDULE SHEET A8.1
- COLOR FINISH PER SCHEDULE SHEET A8.1
- DOOR PER SCHEDULE SHEET A8.2
- WINDOW PER SCHEDULE SHEET A8.2
- HOSE BIB
- GAS OUTLET
- LEVEL CHANGE





## FIRST FLOOR PLAN KEYNOTES

- GENERAL  
ALWAYS REFER TO THE GENERAL NOTES, SPECIFICATIONS, KEYNOTES AND REFERENCED AND RELATED PLANS, SECTIONS, ELEVATIONS AND DETAILS.
201. **TENANT SPACE - PUBLIC LAUNDRY:** TENANT SPACE - ROOM #5 101, 102, 103, 104. PROPOSED LAUNDRY WASHER AND DRYER LOCATIONS WITH UTILITY CONNECTIONS PLUS LAUNDRY FOLDING TABLES AND BENCHES UNDER SEPARATE CONTRACT AND PLUMBING.
202. **LANDLORD PROVIDES:** ALL FINISH SURFACES SUCH AS FINISH FLOORING, WALL SURFACES, EXPOSED PAINTED STRUCTURAL CEILING WITH EXPOSED SPIRAL HVAC DUCTING AND SUPPLY / RETURN GRILLS, GENERAL LIGHTING, FINISH TOILETS AND OFFICE AREAS.
203. **EXTERIOR DOOR THRESHOLDS:** MEET FLUSH WITH ALL EXTERIORS TO ALLOW HANDICAPPED ACCESS.
204. **EXPOSED ARCHITECTURAL CONCRETE:** POURED IN PLACE CONCRETE ELEMENTS W/ 3/4" FORMED MITERED EDGES, ONLY WHERE EDGE IS VISIBLE. CONTRACTOR SHALL TAKE EXTRA CARE TO AVOID ANY CONCRETE VOIDS & DEFECTS @ EDGES. ALL SHARP EDGES ARE TO BE GENTLY EASED AFTER REMOVAL OF FORMS. ALL VOIDS OVER 1/2" ARE TO BE FILLED. ALL HORIZONTAL CONCRETE SURFACES ARE TO RECEIVE GRACE TOPCAST FINISH (AFTER POUR) SEE ALSO FINISH SCHEDULE FOR SAMPLES REQUIRED. VERTICAL SURFACES OF POURED BENCHES ARE INTENDED TO BE AESTHETICALLY THE SAME AS THE HORIZONTAL SURFACES EITHER THROUGH THE USE OF GRACE FORM LINERS OR ACID ETCHING. PROVIDE SAMPLES FOR ARCHITECT'S APPROVAL TYP. SEE ALSO REFERENCED DETAILS TYP.
205. **CMU WALL:** NEW 4" HIGH X 12" THICK X 16' LONG EXPOSED MEDIUM WEIGHT CONCRETE MASONRY UNIT WALL STACKED IN A NEATLY ALIGNING RUNNING BOND PATTERN PER FLOOR PLAN & EXTERIOR ELEVATIONS. ALL GROUT JOINTS ARE TO BE HEAVILY RAKED, GROUT COLOR IS TO BE DETERMINED BY ARCHITECT IN FIELD W/ SAMPLES (DARK GRAY) SEE ALSO REFERENCED DETAILS FOR REINFORCING & FOOTINGS. ALL WALLS ARE TO BE LAID OUT IN FULL BLOCK MODULES BOTH HORIZONTALLY & VERTICALLY. NO CUT BLOCKS WILL BE ACCEPTED.
206. **WEATHER VESTIBULE:** HAS AN 8'-0" CEILING OF WIREGLASS AND GLASS WALL WITH ACCESSIBLE SLOPED FLOOR OF 1:20 MAX.
207. **BICYCLE RACKS:** SEE ALSO REFERENCED DETAILS.
208. **DRINKING FOUNTAIN:** ADA COMPATIBLE HI-LOW DRINKING FOUNTAIN, SEE ALSO FIXTURE SCHEDULE AND PLUMBING PLANS.
209. **ELEVATOR:** SCHINDLER 3100 MACHINE ROOM LESS (MRL) GENERAL PURPOSE REGENERATIVE DRIVE TRACTOR ELEVATOR, 2,100 LB (13 PASSENGER MODEL, SHOWN WITH ADDITIONAL SEISMIC CLEARANCE AS RECOMMENDED BY MFG. PROVIDE 3-PHASE DISCONNECT LOCATED IN THE HOISTWAY AND IN THE BUILDING OUTSIDE OF THE HOISTWAY PER MFG. REC. ALONG WITH 110V DISCONNECT. CONTRACTOR TO PROVIDE COMPLETE SHOP DRAWINGS PRIOR TO ORDER AND INSTALLATION. INSTALL PER MFG.
210. **APPLIANCES AND FIXTURES:** VERIFY ALL APPLIANCES AND FIXTURES PER KITCHEN PLANS BY OTHERS. EXACT SPECIFICATIONS ARE LISTED AS A DEFAULT MINIMUM SPEC AND MAY BE SUBSTITUTED BY OWNER. CONTRACTOR IS TO VERIFY EXACT LOCATION AND SPECIFIC REQUIREMENTS. ALL APPLIANCES ARE INTENDED TO BE ELECTRIC.
211. **WASHER AND DRYERS:** PROVIDE WASHER & DRYERS AT AS SHOWN. PROVIDE RECESS WASHER CONNECTION WITH SHUT-OFF, DRAIN AND OVERFLOW, ANY REQUIRED HARDWARE & PROVIDE DIRECT RIGID DRYER VENT TO EXTERIOR WITH BACK DRAFT DAMPER. SEE APPLIANCE SCHEDULE FOR MORE INFORMATION.

## JUNE LAKE BUSINESS CENTER PHASE 1

2784 CA HWY 158  
JUNE LAKE, CA 23529

JOB TITLE ADDRESS  
OWNERS REPRESENTATIVE

DON MORTON  
PO BOX 237  
JUNE LAKE, CA 93529

Copyright 1972 - D.S. Ewing Architects, Inc.  
All rights reserved. Designs, Drawings and Specifications as instruments of service are and shall remain the property of the Architect whether the project for which they are made is executed or not. They are not to be used on other projects or extensions to this Project except by agreement in writing and with appropriate compensation to the Architect.

## D.S. EWING ARCHITECTS INC. A.I.A.

723 E. California Blvd.  
Pasadena, CA 91106  
office: 626.584.0860  
fax: 626.584.5905  
ewingarchitects.com

These drawings are to be considered preliminary and are not approved for construction until the owner and the Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents and conditions as set forth in these documents.

OWNER

ARCHITECT

CONTRACTOR

JOB #: 19-932

DRAWN LAST: EWING  
ARCHITECTS

SHEET DATE: Oct. 26, 23

PLOTTED: Nov. 1, 23

## REVISIONS

9/20/22 - REORGANIZED SHEET FOR DETAILS AND KEYNOTES

4/25/23 - REV. PER DS MARKUPS

6/22/23 MONO COUNTY PLAN CHECK REVIEW

MONO COUNTY STAMPS

FIRST FLOOR PLAN

SHEET TITLE

A2.1

SHEET NO.



9

Ex Solid Wood Door W/ Aluminum Frame W/12-4"x3-8" Tempered Glass	10.0 EA
Int Solid Wood Door W/ Wood Frame W/1'-10"x6'-1" Tempered Glass	11.0 EA
Ex 2'-0"-1'-3/4" Ex Insulated Aluminum Clad Wood Roll Up Garage Door W/ Aluminum Frame MFG: COOKSON MDL: ESD30 Or Arch Appr.	1.0 EA
Single Fixed Aluminum Clad Wood Window W/ Frame	1.0 EA
Multi Unit Aluminum Clad Wood Window W/ Frame	1.0 EA
French Casement Aluminum Clad Wood Window W/ Frame	1.0 EA
Single Fixed Aluminum Clad Wood Window W/ Frame	1.0 EA
Single Fixed Aluminum Clad Wood Window W/ Frame MFG: SIERRA PACIFIC MDL: H3	1.0 EA
Single Fixed Aluminum Clad Wood Window W/ Frame	1.0 EA
French Casement Aluminum Clad Wood Window W/ Frame	1.0 EA
French Casement Aluminum Clad Wood Window W/ Frame	1.0 EA
Awning Aluminum Clad Wood Window W/ Frame	1.0 EA
Pair Fixed Aluminum Clad Wood Window W/ Frame MFG: SIERRA PACIFIC MDL: H3	1.0 EA
Multi Unit Aluminum Clad Wood Window W/ Frame	2.0 EA
Pair Fixed Aluminum Clad Wood Window W/ Frame	1.0 EA
Pair Fixed Aluminum Clad Wood Window W/ Frame	1.0 EA
Pair Fixed Aluminum Clad Wood Window W/ Frame	1.0 EA
Pair Fixed Aluminum Clad Wood Window W/ Frame MFG: SIERRA PACIFIC MDL: H3	1.0 EA
French Casement Aluminum Clad Wood Window W/ Frame	1.0 EA
Awning Aluminum Clad Wood Window W/ Frame	1.0 EA
French Casement Aluminum Clad Wood Window W/ Frame	1.0 EA
Single Fixed Aluminum Clad Wood Window W/ Frame	1.0 EA
Awning Aluminum Clad Wood Window W/ Frame MFG: SIERRA PACIFIC MDL: H3	1.0 EA
Single Fixed Aluminum Clad Wood Window W/ Frame	1.0 EA
Single Fixed Aluminum Clad Wood Window W/ Frame	2.0 EA
Awning Aluminum Clad Wood Window W/ Frame	4.0 EA
Single Fixed Aluminum Clad Wood Window W/ Frame	2.0 EA
Awning Aluminum Clad Wood Window W/ Frame MFG: SIERRA PACIFIC MDL: H3	1.0 EA
1/2" Single Fixed Aluminum Clad Wood Window W/ Frame	1.0 EA
Single Fixed Aluminum Clad Wood Window W/ Frame	1.0 EA
Awning Aluminum Clad Wood Window W/ Frame	2.0 EA
Single Casement Aluminum Clad Wood Window W/ Frame	1.0 EA
oped 1-8" To 2-2 3/4" Aluminum Louver W/ Frame MFG: SIERRA PACIFIC MDL: H3	1.0 EA

NOTE: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS & SAMPLES FOR OWNER ARCHITECT REVIEW PRIOR TO INSTALLATION.

## C

[illegible]

1  
CUSTOM EXTERIOR ENTRY SOLID STOCK WOOD DOOR

2  
INTERIOR DOOR SOLID STOCK WOOD DOOR

3  
INSULATED ROLL-UP GARAGE DOOR

**PROGRESS PRINTS**  
**NOT FOR CONSTRUCTION**  
**DATE:**

ALL DOORS BOTH INTERIOR & EXTERIOR ARE TO RECEIVE A DOOR STOP WITH FINISH TO MATCH OTHER DOOR HARDWARE. CONTRACTOR SHALL FIELD VERIFY w/ ARCHITECT & OWNER WALL OR FLOOR MOUNT MODEL

	N/A	N/A	N/A	ADP, P, B, C, O, S, I, E, A, T, A, T, O, F, W, H, O, L, E, H, O, U, S, E, A, U, T, O, M, A, T, I, O, N, S, Y, S, T, E, M, S
MODEL				

SHEET NO.



LIGHT FIXTURE SCHEDULE								SEE G0.1 GENERAL NOTES ARTICLE 1 FOR ADDITIONAL INFORMATION ALL NON-RECESSED LIGHTING TO BE SELECTED BY OWNER	
NO.	DESCRIPTION	EXPOSURE	MANUFACTURER	MODEL#	LAMP	FINISH	ALLOW.	REMARKS	
1	WALL MOUNT FIXTURE	EXTERIOR	PERFORMANCE IN LIGHTING	NIKKO-21	MAX. LISTED	METALLIC GREY	N/A	CENTER FIXTURE BETWEEN PANELS OR BATTENS TYP. FIELD VERIFY FIXTURE HEIGHT PRIOR TO INSTALLING BOX	
2	SEMI-FLUSH MOUNT FIXTURE	INTERIOR	EUREKA	EB09 4755.0.	MAX. LISTED	T.B.D.	N/A		
3	4.5" RECESSED LED FIXTURE <sup>1</sup>	INTERIOR	USA ILLUMINATION LIGHTING	BEVELLED 2.0 3021	WARM WHITE LED WATTAGE T.B.D.	FLANGE COL. T.B.D. BASED ON CLING. COL.	N/A	VERIFY FIXTURE WATTAGE w/ ARCHITECT BASED ON CEILING HEIGHT ALL FIXTURES TO BE INSULATION CONTACT RATED	
4	1-48" LAUNDRY LED LOW PROFILE FIXTURE	INTERIOR	LITHONIA LIGHTING	BLWP	MAX. LISTED	T.B.D.	N/A	PROVIDE SWAG TO "JOIST". FIELD VERIFY FIXTURE HEIGHT <sup>1</sup>	
5	1-48" WAREHOUSE LED DEEP LENS FIXTURE	INTERIOR	LITHONIA LIGHTING	FEV LED	MAX. LISTED	T.B.D.	N/A		
6	1-48" OFFICE LED DEEP LENS FIXTURE	INTERIOR	FLUORWORK	PROFLX MINI-FLAT	MAX. LISTED	T.B.D.	N/A	PROVIDE SWAG FOR SLOPED CEILING <sup>2</sup> . FIELD VERIFY FIXTURE HEIGHT <sup>1</sup>	
7	PENDANT FIXTURE	INTERIOR	BY OWNER OR TENTANT, INSTALLED BY CONTRACTOR BRUCK OR SIM.	CLASSIC S WID E26	MAX. LISTED	T.B.D.	N/A		
8	LED ACCENT (BUCK LIGHT)	INTERIOR	REVOLUTED	PLC-300 - BK - WW	WARM WHITE LED	BLACK	N/A	INTERCONNECT AS SHOWN ON PLAN. VERIFY TRANSFORMER LOCATION w/ ARCHITECT	
9	LED ACCENT (UNDER CABINET)	INTERIOR	REVOLUTED	ELB6.12.24.36.48	WARM WHITE LED	SILVER	N/A	INSTALL IN LONGEST LENGTHS & INTERCONNECT AS SHOWN ON PLAN. VERIFY TRANSFORMER LOCATION w/ ARCHITECT IN FIELD DURING ROUGH IN <sup>2</sup>	
10	FLUO. ACCENT (OVER CABINET)	INTERIOR	UTOPAN	LUC-3	WARM WHITE FLUO. (3000K)	WHITE	N/A		
11	OCCUPANCY/AVANCY SENSOR <sup>3</sup>	INTERIOR	T.B.D.	POWER SAVING CEILING MOUNT	N/A	T.B.D.	\$250		

LIGHTING & ELECTRICAL NOTES

- VERIFY ALL MOUNTING HEIGHTS WITH ARCHITECT PRIOR TO ROUGH-IN.
- VERIFY FINISHES OF ALL FIXTURES BEFORE ORDERING.
- VERIFY TRIM OPTIONS w/ OWNER PRIOR TO PURCHASE
- COORDINATE OCCUPANCY SENSOR w/ LIGHTING SYSTEM
- ACCENT LIGHTING IS SHOWN ON THE PLANS SCHEMATICALLY ONLY. INTENT IS FOR LIGHTING TO BE CONTINUOUS. PROVIDE SIZE & NUMBER F FIXTURES AS REQUIRED. (24" FIX, 48" WIDTH = 2 FIXTURES)
- CONSULT FACTORY BEFORE MODIFYING STEM LENGTH FOR PENDANT MOUNTING.
- ALL WIRING SHALL BE CONCEALED WITHIN FRAMING. IF NOT POSSIBLE THEN WIRING SHALL BE CONCEALED WITHIN RIGID CONDUIT AND PAINTED TO MATCH ADJACENT SURFACES.
- WHERE FIXTURES OCCUR BETWEEN OPEN RAFTER OR JOISTS, PROVIDE NEATLY RIPPED & TIGHT FITTING FINISH 1/2"x5" BLOCK FOR RECESSED PANCAKE BOX. INTENT IS FOR FIXTURE TO BE CENTERED IN BLOCK & BAY.
- CONDUCTORS SHALL BE 75° THW OR THWN.
- ALL UNDERGROUND CONDUITS SHALL BE IN PVC SCHEDULE 40
- GROUND CONTINUITY SHALL BE MAINTAINED IN J-BOXES, PULL BOXES, ETC.
- GROUND CONDUCTORS SMALLER THAN NO. 6 SHALL BE IN CONDUIT
- ALL EXTERIOR LIGHT FIXTURES SHALL BE U.L. RATED WET LABELED. ALL INTERIOR LIGHT FIXTURES IN AREAS WHERE MOISTURE OCCURS SHALL BE U.L. RATED DAMP LABELED.
- CONTRACTOR TO PROVIDE ELECTRIC SERVICE, WIRING, CONDUITS, TIMERS ETC. FOR ALL LANDSCAPE LIGHTING AND IRRIGATION SYSTEMS (TO BE FIELD LOCATED BY ARCHITECT)
- SOFFIT LIGHTING ABOVE AND BELOW CABINETS SHALL BE GANG-WIRED AT EACH LOCATION (SEE ELECTRICAL PLAN)
- PROVIDE AN ALLOWANCE FOR FIXTURES AS NOTED IN SCHEDULE, FOR FIXTURES NOT NOTED OR IDENTIFIED PROVIDE AN ALLOWANCE FOR INSTALLATION ONLY.
- LOW-VOLTAGE LANDSCAPE LIGHTING SHOULD BE CONSIDERED N.I.C.. CONTRACTOR SHALL VERIFY OWNER REQUIREMENTS FOR EXTERIOR LANDSCAPE LIGHTING DURING CONSTRUCTION.

NOTE:

PROVIDE ALL REQUIRED EQUIPMENT FOR A FULLY OPERATIONAL SYSTEM. CONTRACTOR TO PROVIDE FULL SHOP DRAWINGS/SCHEMATICS FOR ARCHITECTS APPROVAL PRIOR TO INSTALLATION. CONTRACTOR TO FIELD VERIFY SPECIFIC SWITCHING AND COMBINATION LIGHTING w/ OWNER.

ELECTRICAL NOTE:

LOCATIONS OF LIGHT FIXTURES WITHIN EA. SPACE ARE TO BE POSITIONED EXACTLY AS INDICATED ON REFLECTED CEILING PLAN. THE ELECTRICAL PLAN IS INTENDED TO SHOW SWITCHING LAYOUT, THE REFLECTED CEILING PLAN SHOWS SPECIFIC LIGHT LAYOUT IN RELATION TO THE ARCHITECTURE. IN GENERAL ALL LIGHT FIXTURES & OUTLETS ARE TO BE CENTERED WITHIN BAYS AND EQUALLY SPACED AND ALIGNED. FIXTURES LOCATED ADJACENT TO BEAMS, SOFFITS ETC. ARE TO BE SET OFF DISTANCE AS INDICATED AND CONSISTANTLY POSITIONED THEREAFTER. IF FOR SOME REASON FIXTURE/OUTLET CANNOT BE LOCATED AS INDICATED ARCHITECT IS TO BE NOTIFIED IMMEDIATELY. FRAMING MAY NEED TO BE REMOVED AND HEADED OFF AS DIRECTED BY ARCHITECT OR STRUCT. ENGINEER. SEE ALSO A3.1 & 3.2 FOR LAYOUT INFO.

ALL LIGHTING, OUTLET & JACK LOCATIONS SHALL BE LOCATED WITH TAPE FOR ARCHITECT & OWNERS APPROVAL PRIOR TO INSTALLATION OF ALL BOXES.

APPLIANCE / FIXTURE SCHEDULE												NOTE: ANY APPLIANCES PROVIDED BY OWNER ARE TO BE INSTALLED BY CONTRACTOR SEE ALSO PLUMBING DRAWINGS FOR ADDITIONAL FIXTURE SCHEDULE & REQUIREMENTS	
NO.	DESCRIPTION	SUPPLIED	MFG.	CATALOG #	FINISH	UTILITIES						REMARKS	PROVIDE ALL APPLICABLE ACCESSORIES REQUIRED FOR ALL APPLIANCES/ FIXTURES. COORDINATE OPTIONAL EQUIPMENT WITH OWNER.
						HOT WATER	COLD WATER	WASTE	GAS	ELEC	OTHER		
1	TOILET (ADA)	CONTRACTOR	AMERICAN STANDARD	3451.1.60 MADERA 1.6	WHITE VITREOUS		●	●		●		FLOOR MOUNTED, ELONGATED BOWL, FLUSH VALVE TOILET. SLOAN ROVAL NO. 111-1.28 (1.28 GPM) FLUSH VALVE, OXSENITE NO. 9ACCS5 SEAT LESS COVER AND A/5 BOLT CAPS. INSTALLATION SHALL COMPLY WITH ADA REQ.	
2	SINK (ADA)	CONTRACTOR	AMERICAN STANDARD	0495.221 OVALYN		●	●	●		●		UNDERMOUNT SINK, WITH SYMONS SENSOR FAUCET OR SELF CLOSING (0.4 GPM), CHICAGO NO.327A GRID DRAIN, MCQUIRE NO.155A P.O. PLUG, MCQUIRE NO. PWB090NCO P-TRAP WITH COVER AND CHICAGO NO. 1006 LOOSE KEY STOPS, WATTS MMW-1 THERMOSTATIC TEMPERING VALVE WITH TEMP. SET AT 105 DEG. P-TRAP WITH TRAP AND SUPPLY COVERS. MOUNT PER ADA / 124 REQUIREMENTS.	
3	FAUCET	CONTRACTOR	PER PLUMBING DRAWINGS			●	●			●		WITH AUTO SENSING VALVES, SEE ALSO PLUMBING DRAWINGS	
4	PAPER TOWEL DISPENSER - TRASH	CONTRACTOR	TBD					●				PAPER TOWEL AND INTEGRAL TRASH BIN WITH OPTIONAL AC POWER FOR AUTO SENSOR (JC Supply 60 Parts No. 3074.07)	
5	T.P. - SEAT COVER DISPENSER - WOMEN'S	CONTRACTOR	BOBRICK	B-39479				●				W/30"FAUCET/SEATING VALVES, SEE ALSO PLUMBING DRAWINGS	
6	GRAB BARS	CONTRACTOR	BOBRICK	B-58579								PROVIDE 3x BACKING IN WALL PER MFG. SPECS	
7	GRAB BARS	CONTRACTOR	BOBRICK	B-5806 x 36"	S.S.							PROVIDE 3x BACKING IN WALL PER MFG. SPECS	
8	GRAB BARS	CONTRACTOR	BOBRICK	B-5806 x 42"	S.S.							1/4" POLISHED PLATE TUNED GLASS MIRROR, SEE ALSO DETAILS. FIELD VERIFY SIZE, LOCATION AS SHOWN. SEE ALSO INTERIOR ELEVATIONS.	
9	MIRROR	CONTRACTOR	CUSTOM										
10	BBBY CHANGING STATION	CONTRACTOR	KOALA CARE	KB110-SSRE HORIZ. RECESSED	S.S.								
11	WATER HEATER	CONTRACTOR	PER PLUMBING DRAWINGS						●				
12	FLOOR DRAIN	CONTRACTOR	JR SMITH	2005-HP	CAST IRON			●				HEEL PROOF ROUND TOP, NO HUB OUTLET W/ TRAP PRIMER CONNECTION	
13	TRAP PRIMER	CONTRACTOR	P.P.P.	P2-500	COPPER			●				ADJUSTABLE, COMPLETE WITH 1/2" TYPE 1" COPPER TO RECEPTOR (INSTALL PER MANUF. REC.) WHEN PROVIDING WATER TO MORE THAN ONE FIXTURE PROVIDE SS-B SUPPLY TUBE AND DU-2.3 OR 4 DIST. UNIT AS NEEDED	
14	DRINKING FOUNTAIN	CONTRACTOR	HAWS	No. 1011me HI-LO	S.S.		●	●				DISABLED ACCESS. COMPLIANT HI + LO. DRINKING FOUNTAIN w/ MODEL MTGR1012 MOUNTING FRAME	
15	FIRE EXTINGUISHER CABINET	CONTRACTOR	JARSENS'S OR ARCH. APPROV EQ	ARCH SERIES A12409-81	SATIN ALUMINIUM							FLAT TRIM FULLY RECESSED, VERTICAL DUAL DOOR w/ STD GLAZING PROVIDE MPS (5# MULTIPURPOSE DRY-CHEM 2A-10B-C RATED) EXTINGUISHER w/ EACH CABINET	
16	BIKE RACK	CONTRACTOR	THE PARK CATALOG	WAVE RACK, 2 3/8" HEAVY DUTY	BLACK POWDER COAT							IN GROUND MOUNT per DETAIL 9.47.1, 12 BIKE RACK & 7 BIKE RACK, PER PLAN	
17	TREE GRATE	CONTRACTOR	IRONSMTIH	4898 VERTIGO	UNFINISHED, UNCOATED							WITH 4800F FRAME per DETAIL, 14" GRATE OPENING	
18	SERVICE COUNTER	CONTRACTOR	CUSTOM	PER ARCH. DESIGN									
19	JANITORS SINK	TEENANT IMPROVEMENT	PER PLUMBING DRAWINGS					●					
20	JANITORS FAUCET	TEENANT IMPROVEMENT	PER PLUMBING DRAWINGS			●	●						
21	ADOP RACK	TEENANT IMPROVEMENT	BOBRICK	B-239x34	SS								
22	JANITORS SINK	TEENANT IMPROVEMENT	PER PLUMBING DRAWINGS					●					
23	JANITORS FAUCET	TEENANT IMPROVEMENT	PER PLUMBING DRAWINGS			●	●						
24	ADOP RACK	TEENANT IMPROVEMENT	BOBRICK	B-239x34	SS								
25	3 COMP. SINK	TEENANT IMPROVEMENT	ADVANCE TABC0	A132400B	SS			●				SINK WITH DRAINBOARDS, SEE ALSO CABINET DETAILS AND PLUMBING DRAWINGS	
26	FAUCET	TEENANT IMPROVEMENT	ADVANCE TABC0	K-105	SS	●	●						
27	GARBAGE DISPOSAL	TEENANT IMPROVEMENT	PER PLUMBING DRAWINGS					●		●			
28	HAND SINK	TEENANT IMPROVEMENT	ADVANCE TABC0	Z-PS-46	SS			●				ACCESSIBLE SINK w/ FAUCET, SOAP, TOWEL AND SOAP DISPENSORS	
29	PREP. SINK	TEENANT IMPROVEMENT	ADVANCE TABC0	194S-11E305LR	SS			●				305L IN ROOM 105 AND 305R IN ROOM 124	
30	FAUCET	TEENANT IMPROVEMENT	ADVANCE TABC0	K-101	SS	●	●						
31	REFRIGERATOR	TEENANT IMPROVEMENT								●			
32													
33													
34													
35													

- Soap Dispensor
- Bike Rack
- Tree Grate

4.0 EA

1.0 EA

1.0 EA

PROGRESS PRINTS  
NOT FOR CONSTRUCTION

DATE:

Contractor shall verify all field conditions for conformance to drawings before starting construction. All measurements are subject to verification by the contractor and he shall notify Ewing Architects Inc. of any discrepancies prior to fabrication or construction.

JUNE LAKE  
BUSINESS CENTER  
PHASE 1

2784 CA HWY 158  
JUNE LAKE, CA 93529

JOB TITLE • ADDRESS  
OWNERS REPRESENTATIVE

DON MORTON  
PO BOX 237  
JUNE LAKE, CA 93529

Copyright 1972 - D.S. Ewing Architects, Inc. - All rights reserved. Design Drawings and Specifications as instruments of service are and shall remain the property of the Architect whether the project for which they are made is executed or not. They are not to be used on other projects or extensions to this Project except by agreement in writing and with appropriate compensation to the Architect.

D.S. EWING  
ARCHITECTS  
INC. A.I.A.

723 E. California Blvd.  
Pasadena, CA 91106  
office: 626.584.0860  
fax: 626.584.5905  
ewingarchitects.com

These drawings are to be considered preliminary and are not approved for construction until the owner and the Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents and conditions as set forth in these documents.

OWNER

ARCHITECT

CONTRACTOR

JOB #: 19-932

DRAWN LAST: EWING  
ARCHITECTS

SHEET DATE: May. 4, 23

PLOTTED: Nov. 1, 23

REVISIONS

5/4/23 - SHEET ADDED

AGENCY STAMPS

APPLIANCE FIXTURE  
SCHEDULE

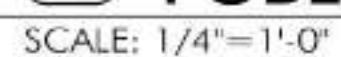
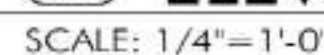
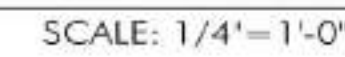
SHEET TITLE

A8.2

SHEET NO.



Contractor shall verify all field conditions for conformance to drawings before starting construction. All measurements are subject to verification by the contractor and he shall notify Ewing Architects Inc. of any discrepancies prior to fabrication or construction.



- 1.0 EA ●

FEET NO.



- Sealed Concrete

12"x12" Vinyl Composition Tile

24"x24" Ceramic Tile Floor

Dexotex Deck Coating

Carpet Floor Finish

4" Baseboard (Assumed)

4" Rubber Based (Assumed)

4" Ceramic Tile Base

4" Dexotex Deck Coating Base

(3'-0"H) Ceramic Wall Tile

6" Tile Wall Base

36" Grab Bar

42" Grab Bar

(1'-8"x2'-4") Mirror By Contractor

(2'-6"x3'-10") Mirror By Contractor

Paper Towel dispenser Trash

Elevator

727.6 SQ FT

477.2 SQ FT

469.8 SQ FT

255.6 SQ FT

601.8 SQ FT

147.6 FT

179.4 FT

95.9 FT

60.9 FT

52.5 FT

52.5 FT

2.0 EA

2.0 EA

1.0 EA

1.0 EA

2.0 EA

1.0 EA
- 
- SECOND FLOOR FINISH PLAN**  
SCALE: 1/4" = 1'-0"
- FINISH FLR. PLAN

KEYNOTES

SEE KEYNOTES ON SHEET A2.3

LEGEND

DEXOTEX DECK COATING

KITCHEN QUARRY TILE

CARPET FLOOR FINISH

24"x24" TILE FLOOR

12"x12" VINYL COMPOSITION TILE

JUNE LAKE BUSINESS CENTER

PHASE 1

2784 CA HWY 158  
JUNE LAKE, CA 93529

JOB TITLE • ADDRESS  
OWNER'S REPRESENTATIVE

DON MORTON  
PO BOX 237  
JUNE LAKE, CA 93529

Copyright 1972 - D.S. Ewing Architects, Inc.  
All rights reserved. Designs, Drawings and Specifications as instruments of service are and shall remain the property of the Architect whether the project for which they are made is executed or not. They are not to be used on other projects or extensions to this Project except by agreement in writing and with appropriate compensation to the Architect.

D.S. EWING ARCHITECTS INC. A.I.A.

723 E. California Blvd.  
Pasadena, CA 91106  
office: 626.584.0860  
fax: 626.584.5905  
ewingarchitects.com

These drawings are to be considered preliminary and are not approved for construction until the owner and the Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents and conditions as set forth in these documents.

OWNER

ARCHITECT

CONTRACTOR

JOB #: 19-932

DRAWN LAST: EWING ARCHITECTS

SHEET DATE: Apr. 28, 23

PLOTTED: Nov. 1, 23

REVISIONS

4/25/23 - REV. PER DS MARKUPS

AGENCY STAMPS

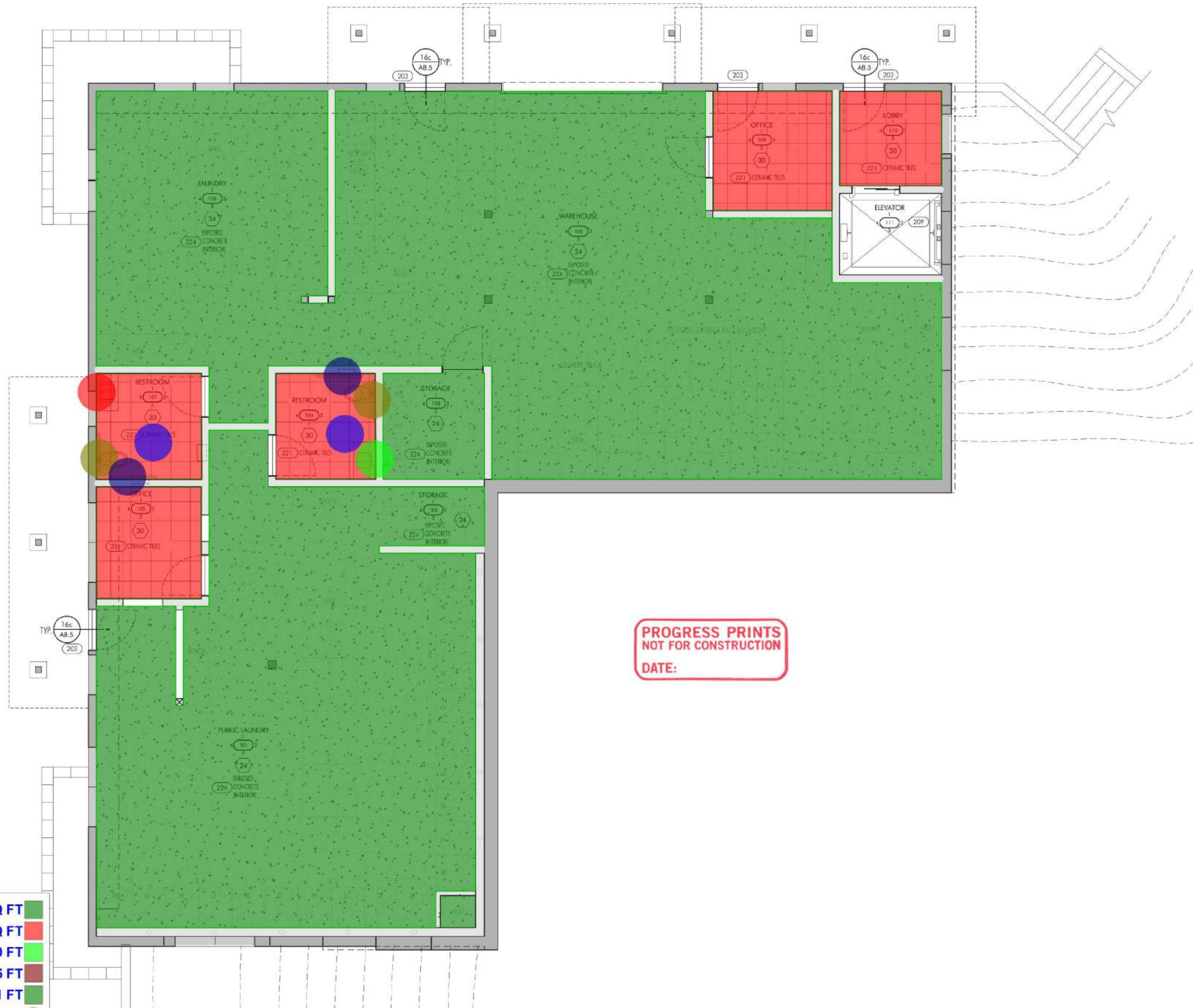
SECOND FLOOR FINISH PLAN

SHEET TITLE

A2.4

SHEET NO.





	Sealed Concrete	2358.3 SQ FT
	Ceramic Tile Flooring	326.4 SQ FT
	4" Baseboard (Assumed)	407.0 FT
	(3'-0"H) Ceramic Wall Tile	86.5 FT
	6" Tile Wall Base	143.1 FT
	36" Grab Bar Supplied: Contr...	2.0 EA
	42" Grab Bar	2.0 EA
	(1'-8"x2'-4") Mirror By Contra...	1.0 EA
	(2'-6"x3'-10") Mirror By Contr...	1.0 EA
	Paper Towel dispenser Trash	2.0 EA

1ST FLOOR FINISH PLAN  
SCALE: 1/4" = 1'-0"

FINISH FLR. PLAN  
KEYNOTES

- GENERAL  
ALWAYS REFER TO THE GENERAL NOTES, SPECIFICATIONS, KEYNOTES AND REFERENCED AND RELATED PLANS, SECTIONS, ELEVATIONS AND DETAILS.
- A. BUILDING LOCATION: BLDG. LOCATION IS TO BE SET BY THE DATUM POINT SHOWN ON THIS PLAN. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND LOCATIONS FOR COMPLIANCE WITH THESE PLANS AND CITY, COUNTY, STATE ORDINANCES. CONTRACTOR IS TO NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONDITIONS NOT CONSISTENT WITH THESE PLANS.
- B. DATUM ELEVATION: -0'-0" SET FROM FINISHED FLOOR HEIGHT OF +43' LOWER FLOOR.
- C. BLDG. CONFIGURATION: CONTRACTOR IS TO NOTIFY ARCHITECT PRIOR TO ANY WORK IF THE WORK DONE BY THE OWNER DOES NOT MATCH WHAT IS SHOWN ON THESE PLANS, THEREBY CHANGING THE STRUCTURAL AND/OR AESTHETIC ELEMENTS OF THIS BUILDING.
- D. TOPOGRAPHY HAS BEEN PROVIDED BY OWNER. GRADES AND ELEVATIONS SHOWN MAY DIFFER FROM ACTUAL CONDITIONS DUE TO OWNER FIELD CHANGES. CONTRACTOR SHALL VERIFY ACTUAL GRADES AND ELEVATIONS ON SITE AND WITH OWNER AND CIVIL ENGINEER. CONTRACTOR SHALL PROVIDE ADEQUATE SLOPE (2% MINIMUM FOR A DISTANCE OF 5') AWAY FROM ALL EXTERIOR WALLS BE PROVIDED.
- E. FLOW LINES: ALL WATER (FROM RAIN, HOSES, ETC.) IS TO FLOW AWAY FROM THE BUILDING PERIMETER AT 2% SLOPE MIN. FOR A DISTANCE OF AT LEAST 5'
- F. EXTERIOR DOOR THRESHOLDS: MEET FLUSH WITH ALL EXTERIORS TO ALLOW DISABLED ACCESS.
- G. KEYNOTES: CATEGORIZED BY DRAWING TYPE, SUCH AS FLOOR PLAN KEYNOTES ARE 200 SERIES, REFLECTED CEILING PLAN KEYNOTES ARE 300 SERIES, ETC. ANY GIVEN KEYNOTE NUMBER HAS THE SAME DEFINITION THROUGHOUT THE PLANS; THEREFORE ONE NUMBER WILL NOT HAVE TWO OR MORE DEFINITIONS IF FOUND ON DIFFERENT SHEETS IN THIS SET. THE NUMBERS ALSO CORRESPOND TO THE SHEET'S FIRST NUMBER, SUCH AS FLOOR PLANS (A2.1, ETC.) WILL HAVE 200 SERIES KEYNOTES.
- FLOOR PLAN KEYNOTES:  
FLOOR SLAB PREP: NOTE: CONTRACTOR SHALL TAKE CARE TO PREPARE ALL EXISTING CONCRETE SLABS FOR NEW FLOOR FINISHES PER MANUFACTURERS SPECIFICATIONS & RECOMMENDATIONS. SEE ALSO SPECIFICATION PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.  
GENERAL INTENT IS FOR ALL EXISTING SLABS TO BE CLEAN & FREE OF DEFECTS PRIOR TO INSTALLING ANY NEW FLOOR FINISHES. WHERE SLABS ARE NOT FLAT CONTRACTOR SHALL APPLY A SUITABLE (SEE PROJECT MANUAL) SELF-LEVELLING UNDERLAYMENT. WHERE SLAB MOISTURE VAPOR LEVELS ARE ABOVE ACCEPTABLE LEVELS (SEE PROJECT MANUAL SECTION D961.1.6) PROVIDE MOISTURE VAPOR REDUCTION MEMBRANE. WHERE CERAMIC TILE OCCURS OVER CONCRETE SLABS PROVIDE CONTINUOUS CRACK SUPPRESSANT MEMBRANE PER PROJECT MANUAL. THIN-SETS, GLUES & MORTAR PER PROJECT MANUAL TYP. ALL CERAMIC TILE GROUT JOINTS ARE TO BE 1/4" TYP. U.N.O. GROUT COLOR TO BE SELECTED IN THE FIELD BY ARCHITECT.
220. CARPET TILES: 24" SQ. CARPET TILES PER FINISH SCHEDULE. INSTALLATION DIRECTION (MONOLITHIC, QUARTER TURN ETC...) IS TO BE SELECTED IN THE FIELD BY ARCHITECT & OWNER. PROVIDE MIN 4 TILES IN EACH COLOR/STYLE FOR LAYOUT SELECTION. PROVIDE ARMSTRONG VTO. TRANSITION STRIP INSTALLED PER MANUFACTURERS SPECIFICATIONS AT ALL CARPET TRANSITIONS TYP. SEE ALSO REFERENCED DETAILS.
221. 24"x24" CERAMIC TILE. THIN-SET NEW 24" SQ. CERAMIC TILES PER FINISH SCHEDULE OVER CONTINUOUS CRACK SUPPRESSANT MEMBRANE & NEW DEPRESSED CONCRETE SLAB. VERIFY LAYOUT ORIGIN W/ ARCHITECT IN FIELD.
222. 2"x2" CERAMIC TILE. THIN-SET NEW CERAMIC TILE (1/2" THICK TILE OVER NEW CONCRETE SLAB NEW CONCRETE IS TYP. @ BATHROOMS, SEE ALSO FOUNDATION PLAN S2.1) AT TWO PRIMARY BATHROOMS INTENT IS TO PROVIDE A 2 TONE SPLATTER PATTERN PER DETAIL 1/A2.2. NOTE: SLOPE TILE TO DRAINS WHERE OCCUR. PREP. ALL SLABS PER NOTE ABOVE & PER MANUFACTURERS SPECIFICATIONS TYP. VERIFY LAYOUT ORIGIN W/ ARCHITECT IN FIELD.
223. 12"x12" VINYL COMPOSITION TILE: PROVIDE GLUED DOWN VCT DIRECTLY OVER EXISTING CONCRETE SLAB AS PREPED PER NOTES ABOVE & PER MANUFACTURERS RECOMMENDATIONS. AT KITCHEN INTENT IS TO PROVIDE FLOOR PATTERN W/ FLUSH CONTRASTING COLOR TILES PER FINISH SCHEDULE. SET TILE @ 45° PATTERN W/ LAYOUT DATUM AT CENTER OF DOOR TO EXTERIOR. VERIFY W/ ARCHITECT IN FIELD.
224. EXPOSED CONCRETE (INTERIOR):

LEGEND

	24"x24" TILE FLOOR
	(221)
	EXPOSED CONCRETE FLR.
	(224)

Contractor shall verify all field conditions for conformance to drawings before starting construction. All measurements are subject to verification by the contractor and he shall notify Ewing Architects Inc. of any discrepancies prior to fabrication or construction.

JUNE LAKE  
BUSINESS CENTER  
PHASE 1

2784 CA HWY 158  
JUNE LAKE, CA 23529

JOB TITLE + ADDRESS  
OWNERS REPRESENTATIVE

DON MORTON  
PO BOX 237  
JUNE LAKE, CA 93529

Copyright 1972 - D.S. Ewing Architects, Inc.  
All rights reserved. Designs, Drawings and Specifications as instruments of service are and shall remain the property of the Architect whether the project for which they are made is executed or not. They are not to be used on other projects or extensions to this Project except by agreement in writing and with appropriate compensation to the Architect.

D.S. EWING  
ARCHITECTS  
INC. A.I.A.

723 E. California Blvd.  
Pasadena, CA 91106  
office: 626.584.0860  
fax: 626.584.5905  
ewingarchitects.com

These drawings are to be considered preliminary and are not approved for construction until the owner and the Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents and conditions as set forth in these documents.

OWNER  
  
ARCHITECT  
  
CONTRACTOR

JOB #: 19-932  
DRAWN LAST: EWING ARCHITECTS  
SHEET DATE: Nov. 1, 23  
PLOTTED: Nov. 1, 23

REVISIONS


AGENCY STAMPS

FIRST FLOOR FINISH PLAN

SHEET TITLE

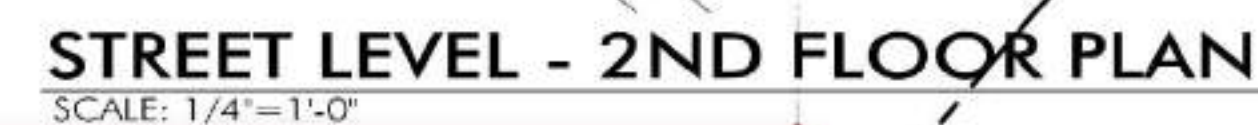
A2.3

SHEET NO.



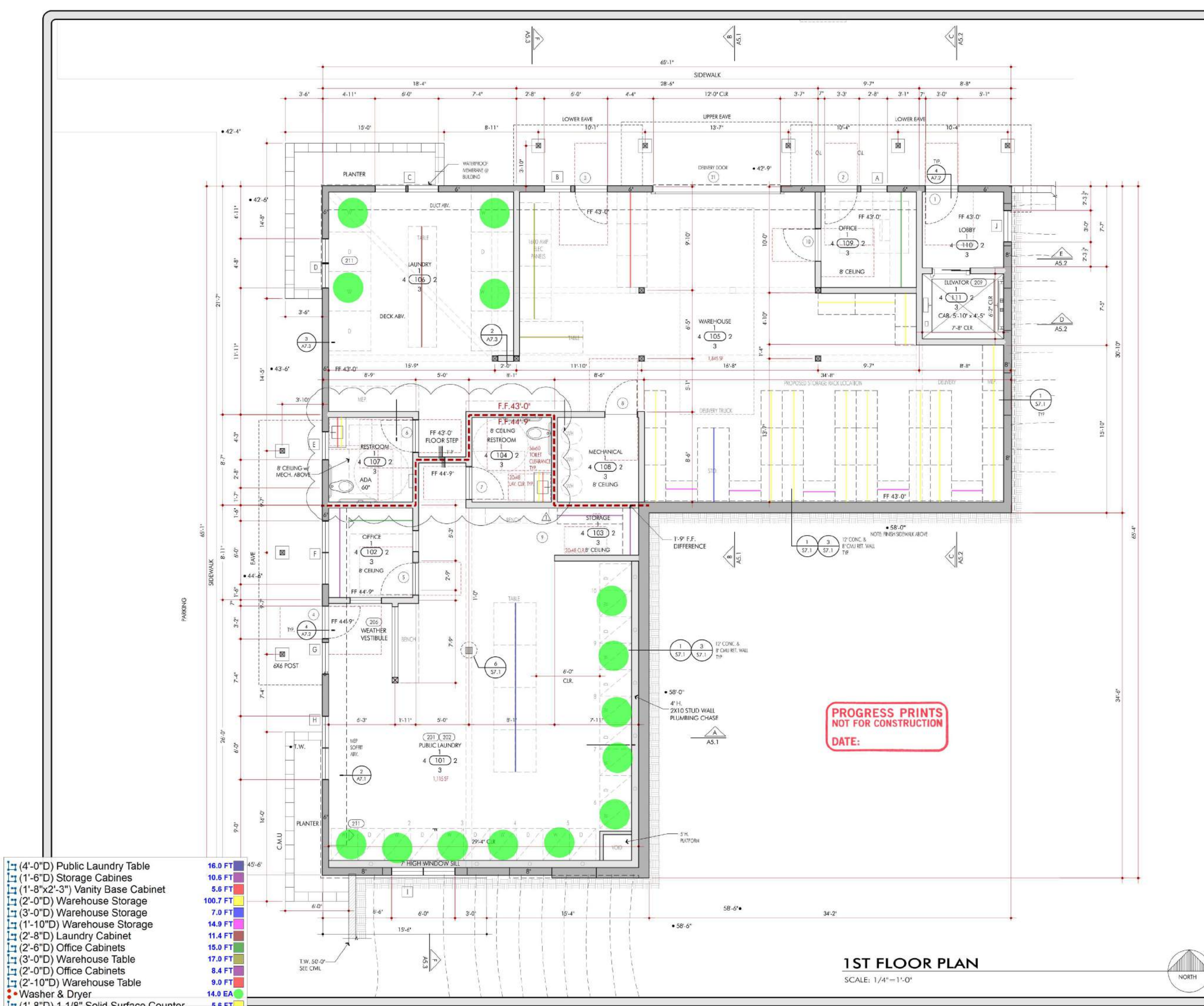
223. COMMON BUILDING AREAS: ROOM #S 209, 210, 211, 212. ACCESSIBLE RESTROOMS, HALLWAY AND ELEVATOR FOR PUBLIC ACCESS. RESTROOMS AND ELEVATOR LOBBY TO REMAIN UNLOCKED DURING BUSINESS HOURS.

SHEET NO. \_\_\_\_\_

 LEVEL CHANGE

- (1'-8"x2'-3") Vanity Base Cabinet
- (2'-6"x3'-0") Tenant Food Prep Base Cabinets
- (2'-0"x3'-0") Tenant Food Prep Base Cabinets
- (4'-6"x3'-0") Tenant Food Prep Base Cabinets
- (5'-3"x3'-0") Tenant Food Prep Base Cabinets
- (2'-0"x3'-0") Tenant Food Takeout Base Cabinets
- (1'-2"D) Pickup Counter
- (2'-6"x3'-0") Tenant Food Takeout Base Cabinets
- (3'-0"x3'-0") Tenant Food Prep Base Cabinets
- (2'-6"D) Office Cabinets
- (2'-0"D) Office Cabinets
- (1'-6"D) Office Cabinets
- (2'-0"D) Workspace Cabinets
- (2'-10"D) Workspace Cabinets
- (2'-6"D) Workspace Cabinets
- (2'-0"x3'-0") Reception Desk
- (2'-4"x3'-0") Reception Desk
- (2'-2"x7'-0") Full Height Cabinet
- (2'-0"x3'-0") Coffee Service Base Cabinets
- (1'-0"x2'-8") Coffee Service Upper Cabinets
- (2'-0"x3'-0") Coffee Service Base Cabinets For Refrigerator
- (1'-0") Reception Counter
- (2'-0"D) Granite CounterTop
- (2'-6"D) Granite CounterTop
- (1'-8"D) 1 1/8" Solid Surface Counter
- Refrigerator





# FIRST FLOOR PLAN KEYNOTES

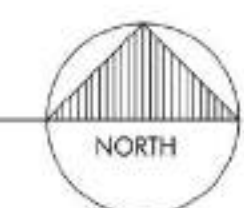
- GENERAL  
ALWAYS REFER TO THE GENERAL NOTES, SPECIFICATIONS, KEYNOTES AND REFERENCED AND RELATED PLANS, SECTIONS, ELEVATIONS AND DETAILS.
201. TENANT SPACE - PUBLIC LAUNDRY: TENANT SPACE - ROOM #5 101, 102, 103, 104. PROPOSED LAUNDRY WASHER AND DRYER LOCATIONS WITH UTILITY CONNECTIONS PLUS LAUNDRY FOLDING TABLES AND BENCHES UNDER SEPARATE CONTRACT AND PLUMBING.
202. LANDLORD PROVIDES: ALL FINISH SURFACES SUCH AS FINISH FLOORING, WALL SURFACES, EXPOSED PAINTED STRUCTURAL CEILING WITH EXPOSED SPIRAL HVAC DUCTING AND SUPPLY / RETURN GRILLS, GENERAL LIGHTING, FINISH TOILETS AND OFFICE AREAS
203. EXTERIOR DOOR THRESHOLDS: MEET FLUSH WITH ALL EXTERIORS TO ALLOW HANDICAPPED ACCESS.
204. EXPOSED ARCHITECTURAL CONCRETE: POURED IN PLACE CONCRETE ELEMENTS W/ 3/4" FORMED MITERED EDGES, ONLY WHERE EDGE IS VISIBLE. CONTRACTOR SHALL TAKE EXTRA CARE TO AVOID ANY CONCRETE Voids & DEFECTS @ EDGES. ALL SHARP EDGES ARE TO BE GENTLY EASED AFTER REMOVAL OF FORMS. ALL Voids OVER 1/2" ARE TO BE FILLED. ALL HORIZONTAL CONCRETE SURFACES ARE TO RECEIVE GRACE TOPCAST FINISH (AFTER POUR) SEE ALSO FINISH SCHEDULE FOR SAMPLES REQUIRED. VERTICAL SURFACES OF POURED BENCHES ARE INTENDED TO BE AESTHETICALLY THE SAME AS THE HORIZONTAL SURFACES EITHER THROUGH THE USE OF GRACE FORM LINERS OR ACID ETCHING. PROVIDE SAMPLES FOR ARCHITECT'S APPROVAL TYP. SEE ALSO REFERENCED DETAILS TYP.
205. CMU WALL: NEW 4" HIGH X 12" THICK X 16' LONG EXPOSED MEDIUM WEIGHT CONCRETE MASONRY UNIT WALL STACKED IN A NEATLY ALIGNING RUNNING BOND PATTERN PER FLOOR PLAN & EXTERIOR ELEVATIONS. ALL GROUT JOINTS ARE TO BE HEAVILY RAKED. GROUT COLOR IS TO BE DETERMINED BY ARCHITECT IN FIELD W/ SAMPLES (DARK GRAY) SEE ALSO REFERENCED DETAILS FOR REINFORCING & FOOTINGS. ALL WALLS ARE TO BE LAID OUT IN FULL BLOCK MODULES BOTH HORIZONTALLY & VERTICALLY. NO CUT BLOCKS WILL BE ACCEPTED.
206. WEATHER VESTIBULE: HAS AN 8'-0" CEILING OF WIREGLASS AND GLASS WALL WITH ACCESSIBLE SLOPED FLOOR OF 1:20 MAX.
207. BICYCLE RACKS: SEE ALSO REFERENCED DETAILS
208. DRINKING FOUNTAIN: ADA COMPATIBLE HI-LOW DRINKING FOUNTAIN. SEE ALSO FUTURE SCHEDULE AND PLUMBING PLANS
209. ELEVATOR: SCHINDLER 3100 MACHINE ROOM LESS (MRL) GENERAL PURPOSE REGENERATIVE DRIVE TRACTOR ELEVATOR. 2,100 LB (13 PASSENGER MODEL. SHOWN WITH ADDITIONAL SEISMIC CLEARANCE AS RECOMMENDED BY MFG. PROVIDE 3-PHASE DISCONNECT LOCATED IN THE HOISTWAY AND IN THE BUILDING OUTSIDE OF THE HOISTWAY PER MFG. REC. ALONG WITH 110V DISCONNECT. CONTRACTOR TO PROVIDE COMPLETE SHOP DRAWINGS PRIOR TO ORDER AND INSTALLATION. INSTALL PER MFG.
210. APPLIANCES AND FIXTURES: VERIFY ALL APPLIANCES AND FIXTURES PER KITCHEN PLANS BY OTHERS. EXACT SPECIFICATIONS ARE LISTED AS A DEFAULT MINIMUM SPEC AND MAY BE SUBSTITUTED BY OWNER. CONTRACTOR IS TO VERIFY EXACT LOCATION AND SPECIFIC REQUIREMENTS. ALL APPLIANCES ARE INTENDED TO BE ELECTRIC.
211. WASHER AND DRYERS: PROVIDE WASHER & DRYERS AT AS SHOWN. PROVIDE RECESS WASHER CONNECTION WITH SHUT-OFF, DRAIN AND OVERFLOW, ANY REQUIRED HARDWARE & PROVIDE DIRECT RIGID DRYER VENT TO EXTERIOR WITH BACK DRAFT DAMPER. SEE APPLIANCE SCHEDULE FOR MORE INFORMATION.

## LEGEND

- 12" STEPPED RETAINING WALLS: 2x6 D.F. No. 2 or better studs @ 16" O.C. 1/2" CDX-1 plywood sheathing on 12" poured in place concrete retaining wall stepped down grade min. 8" above fin grade. See foundation plan and elevations for step.
- 6" EXTERIOR WALL EXTERIOR WALL: 2x6 D.F. No. 2 or better studs @ 16" o/c, u.n.o. 1/2" CDX-1 plywood sheathing, R-22 (min.) insulation u.n.o. Finish per ext. elevations
- 8" EXTERIOR WALL EXTERIOR WALLS: 6 INCHES FROM CONCRETE STEP/OUT
- 24" WALL U.N.O. INTERIOR WALLS: 2x6 D.F. No. 2 or better studs @ 16" o/c, u.n.o. Interior faces shall be covered with 5/8" Gypsum Board, u.n.o. 1/2" CDX-1 plywood sheathing where occurs
- PART HEIGHT 24" WALL U.N.O. INTERIOR WALLS: 2x6 D.F. No. 2 or better studs @ 16" o/c, u.n.o. Interior faces shall be covered with 5/8" Gypsum Board, u.n.o. 1/2" CDX-1 plywood sheathing where occurs
- 2x10 PLUMBING WALL INTERIOR WALLS: 2x8 D.F. No. 2 or better studs @ 16" o/c, u.n.o. Interior faces shall be covered with 5/8" moisture resistant Gypsum Board, u.n.o.
- LAYOUT DATUM: See also sht. A1.1, for overall dimensions & keynote 104
- APPLIANCES PER SCHEDULE SHEET A8.1
- COLOR FINISH PER SCHEDULE SHEET A8.1
- DOOR PER SCHEDULE SHEET A8.2
- WINDOW PER SCHEDULE SHEET A8.2
- HOSE BIB
- GAS OUTLET

## 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"



Contractor shall verify all field conditions for conformance to drawings before starting construction. All measurements are subject to verification by the contractor and he shall notify Ewing Architects Inc. of any discrepancies prior to fabrication or construction.

## JUNE LAKE BUSINESS CENTER PHASE 1

2784 CA HWY 158  
JUNE LAKE, CA 23529

JOB TITLE + ADDRESS  
OWNERS REPRESENTATIVE

DON MORTON  
PO BOX 237  
JUNE LAKE, CA 93529

Copyright 1972 - D.S. Ewing Architects, Inc. All rights reserved. Designs, Drawings and Specifications as instruments of service are and shall remain the property of the Architect whether the project for which they are made is executed or not. They are not to be used on other projects or extensions to this Project except by agreement in writing and with appropriate compensation to the Architect.

## D.S. EWING ARCHITECTS INC. A.I.A.

723 E. California Blvd.  
Pasadena, CA 91106  
office: 626.584.0860  
fax: 626.584.5905  
ewingarchitects.com

These drawings are to be considered preliminary and are not approved for construction until the owner and the Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents and conditions as set forth in these documents.

OWNER  
ARCHITECT  
CONTRACTOR

JOB #: 19-932  
DRAWN LAST: EWING ARCHITECTS  
SHEET DATE: Oct. 26, 23  
PLOTTED: Nov. 1, 23

## REVISIONS

9/20/22 - REORGANIZED SHEET FOR DETAILS AND KEYNOTES  
4/25/23 - REV. PER DS MARKUPS

6/22/23 MONO COUNTY PLAN CHECK REVIEW

MONO COUNTY STAMPS

FIRST FLOOR PLAN

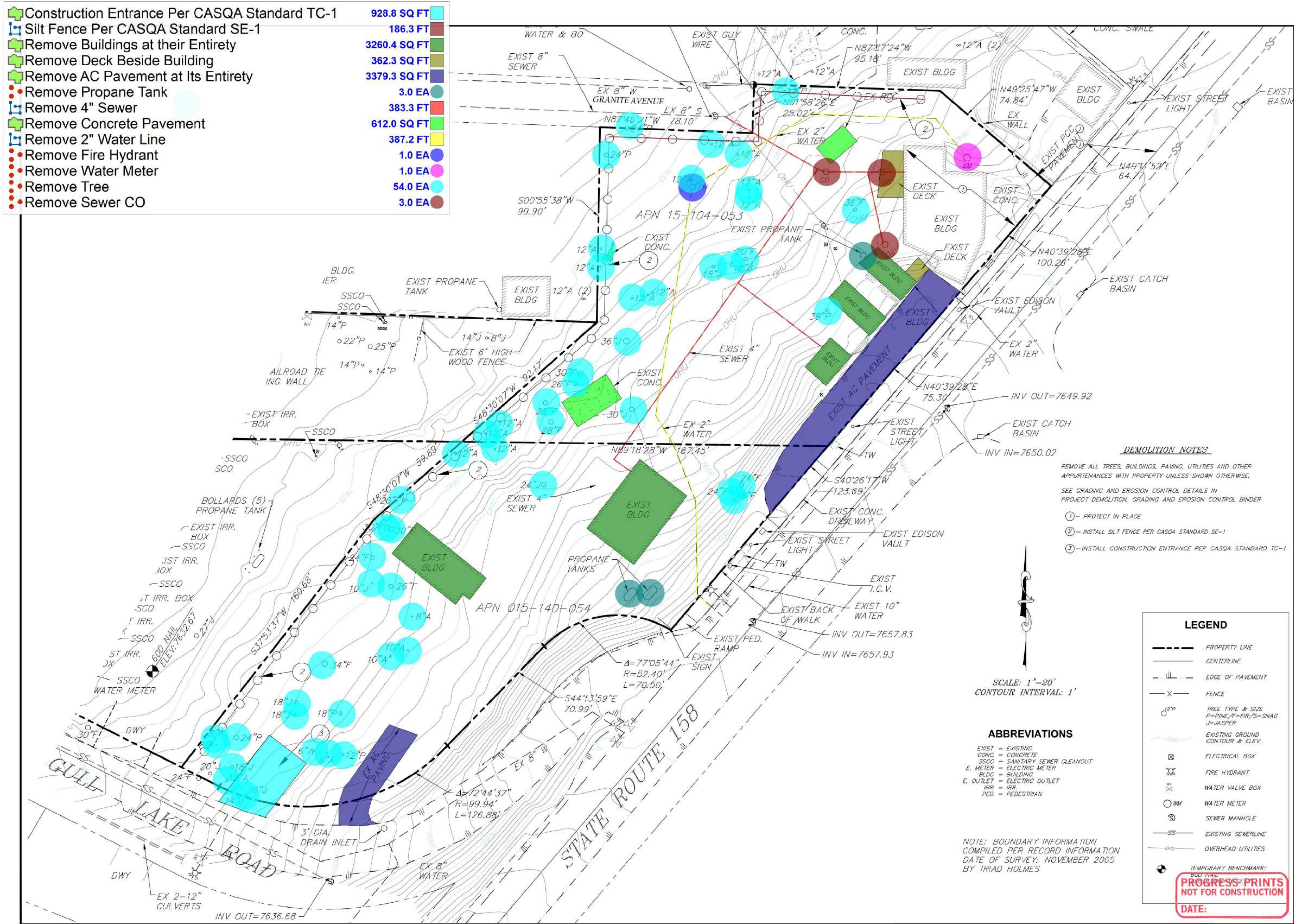
SHEET TITLE

A2.1

SHEET NO.



- Construction Entrance Per CASQA Standard TC-1 928.8 SQ FT
- Silt Fence Per CASQA Standard SE-1 186.3 FT
- Remove Buildings at their Entirety 3260.4 SQ FT
- Remove Deck Beside Building 362.3 SQ FT
- Remove AC Pavement at Its Entirety 3379.3 SQ FT
- Remove Propane Tank 3.0 EA
- Remove 4" Sewer 383.3 FT
- Remove Concrete Pavement 612.0 SQ FT
- Remove 2" Water Line 387.2 FT
- Remove Fire Hydrant 1.0 EA
- Remove Water Meter 1.0 EA
- Remove Tree 54.0 EA
- Remove Sewer CO 3.0 EA



**DEMOLITION NOTES**

REMOVE ALL TREES, BUILDINGS, PAVING, UTILITIES AND OTHER APPURTENANCES WITH PROPERTY UNLESS SHOWN OTHERWISE.

SEE GRADING AND EROSION CONTROL DETAILS IN PROJECT DEMOLITION, GRADING AND EROSION CONTROL BINDER

① - PROTECT IN PLACE  
② - INSTALL SILT FENCE PER CASQA STANDARD SE-1  
③ - INSTALL CONSTRUCTION ENTRANCE PER CASQA STANDARD TC-1

- LEGEND**
- PROPERTY LINE
  - CENTERLINE
  - EDGE OF PAVEMENT
  - FENCE
  - TREE TYPE & SIZE  
P=PINE/F=FIR/S=SNAG  
J=JASPER
  - EXISTING GROUND CONTOUR & ELEV.
  - ELECTRICAL BOX
  - FIRE HYDRANT
  - WATER VALVE BOX
  - WM WATER METER
  - SEWER MANHOLE
  - EXISTING SEWERLINE
  - OVERHEAD UTILITIES
- ABBREVIATIONS**
- EXIST = EXISTING
  - CONC. = CONCRETE
  - SSCO = SANITARY SEWER CLEANOUT
  - E. METER = ELECTRIC METER
  - BLDG = BUILDING
  - E. OUTLET = ELECTRIC OUTLET
  - IRR. = IRR.
  - PED. = PEDESTRIAN

SCALE: 1"=20'  
CONTOUR INTERVAL: 1'

NOTE: BOUNDARY INFORMATION  
COMPILED PER RECORD INFORMATION  
DATE OF SURVEY: NOVEMBER 2005  
BY TRIAD HOLMES

TEMPORARY BENCHMARK:  
BUD NAIL  
ELEV. 7632.67  
**PROGRESS PRINTS  
NOT FOR CONSTRUCTION**  
DATE:

DATE: BY: BS

NO. REVISIONS:

RMS GROUP

LAND DEVELOPMENT  
PLANNING AND DESIGN SERVICES

BOB STRONG, PE  
rmssqd@earthlink.net

949.573.2135

SHEET TITLE:

PROJECT:

ADDRESS:

DEMOLITION PLAN

SIERRA CREST PLAZA

HIGHWAY 158  
JUNE LAKE, CA 93529

DATE

1-18-23

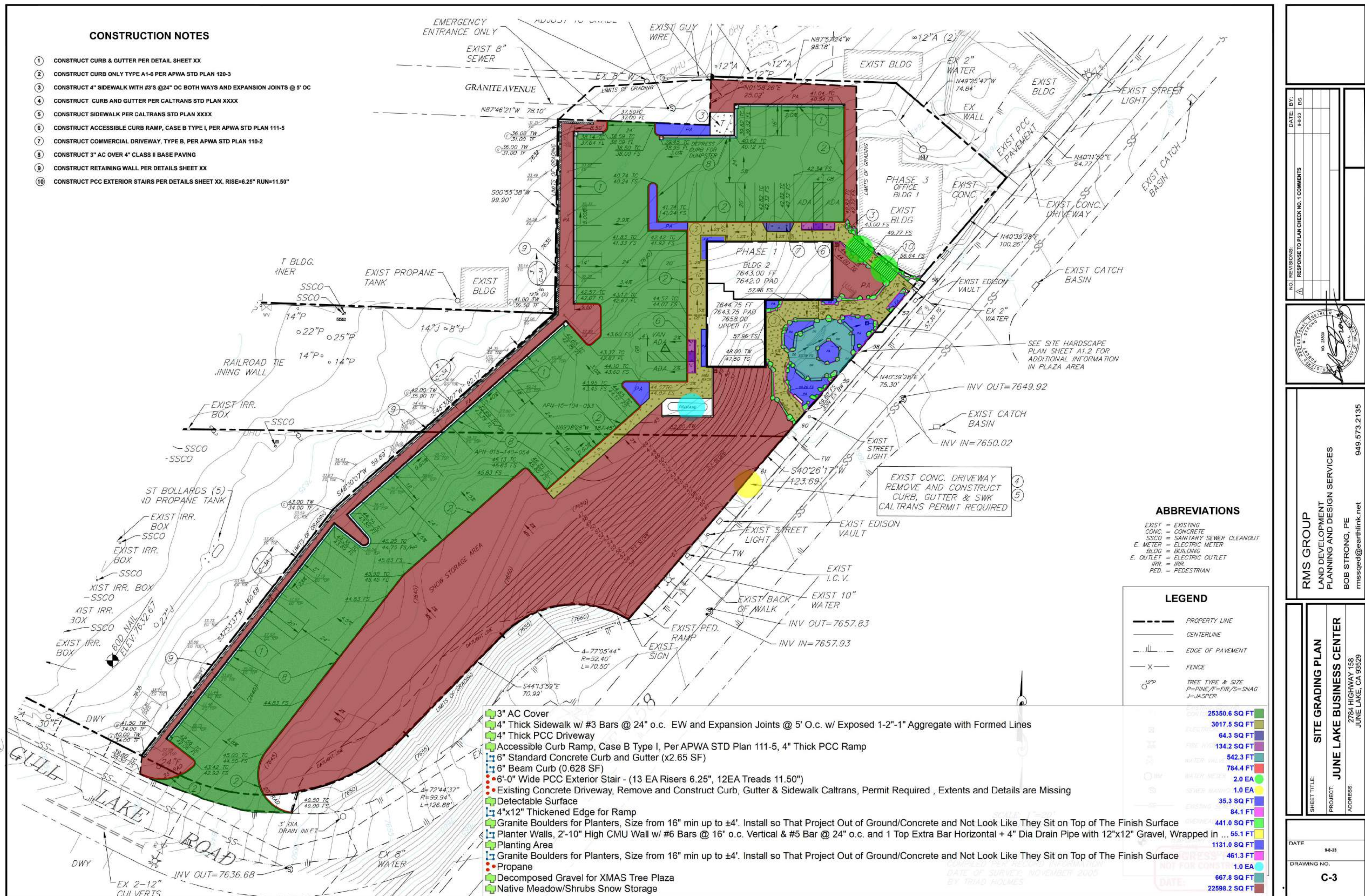
DRAWING NO.

C-2



CONSTRUCTION NOTES

1. CONSTRUCT CURB & GUTTER PER DETAIL SHEET XX
2. CONSTRUCT CURB ONLY TYPE A1-6 PER APWA STD PLAN 120-3
3. CONSTRUCT 4" SIDEWALK WITH #3'S @24" OC BOTH WAYS AND EXPANSION JOINTS @ 5' OC
4. CONSTRUCT CURB AND GUTTER PER CALTRANS STD PLAN XXXX
5. CONSTRUCT SIDEWALK PER CALTRANS STD PLAN XXXX
6. CONSTRUCT ACCESSIBLE CURB RAMP, CASE B TYPE I, PER APWA STD PLAN 111-5
7. CONSTRUCT COMMERCIAL DRIVEWAY, TYPE B, PER APWA STD PLAN 110-2
8. CONSTRUCT 3" AC OVER 4" CLASS II BASE PAVING
9. CONSTRUCT RETAINING WALL PER DETAILS SHEET XX
10. CONSTRUCT PCC EXTERIOR STAIRS PER DETAILS SHEET XX, RISE=6.25" RUN=11.50"



ABBREVIATIONS

EXIST = EXISTING  
CONC. = CONCRETE  
SSCO = SANITARY SEWER CLEANOUT  
E. METER = ELECTRIC METER  
BLDG = BUILDING  
E. OUTLET = ELECTRIC OUTLET  
IRR. = IRR.  
PED. = PEDESTRIAN

LEGEND

--- PROPERTY LINE  
--- CENTERLINE  
--- EDGE OF PAVEMENT  
X FENCE  
12" P TREE TYPE & SIZE  
P=PINE/F=FIR/S=SNAG  
J=JASPER

- 3" AC Cover
- 4" Thick Sidewalk w/ #3 Bars @ 24" o.c. EW and Expansion Joints @ 5' O.c. w/ Exposed 1-2"-1" Aggregate with Formed Lines
- 4" Thick PCC Driveway
- Accessible Curb Ramp, Case B Type I, Per APWA STD Plan 111-5, 4" Thick PCC Ramp
- 6" Standard Concrete Curb and Gutter (x2.65 SF)
- 6" Beam Curb (0.628 SF)
- 6'-0" Wide PCC Exterior Stair - (13 EA Risers 6.25", 12EA Treads 11.50")
- Existing Concrete Driveway, Remove and Construct Curb, Gutter & Sidewalk Caltrans, Permit Required, Extents and Details are Missing
- Detectable Surface
- 4"x12" Thickened Edge for Ramp
- Granite Boulders for Planters, Size from 16" min up to ±4'. Install so That Project Out of Ground/Concrete and Not Look Like They Sit on Top of The Finish Surface
- Planter Walls, 2'-10" High CMU Wall w/ #6 Bars @ 16" o.c. Vertical & #5 Bar @ 24" o.c. and 1 Top Extra Bar Horizontal + 4" Dia Drain Pipe with 12"x12" Gravel, Wrapped in ...
- Planting Area
- Granite Boulders for Planters, Size from 16" min up to ±4'. Install so That Project Out of Ground/Concrete and Not Look Like They Sit on Top of The Finish Surface
- Propane
- Decomposed Gravel for XMAS Tree Plaza
- Native Meadow/Shrubs Snow Storage

25350.6 SQ FT
3017.5 SQ FT
64.3 SQ FT
134.2 SQ FT
542.3 FT
784.4 FT
2.0 EA
1.0 EA
35.3 SQ FT
84.1 FT
441.0 SQ FT
55.1 FT
1131.0 SQ FT
461.3 FT
1.0 EA
667.8 SQ FT
22598.2 SQ FT

DATE: BY: 9-8-23
NO. REVISIONS: RESPONSE TO PLAN CHECK NO. 1 COMMENTS



RMS GROUP  
LAND DEVELOPMENT  
PLANNING AND DESIGN SERVICES  
BOB STRONG, PE  
rmssged@earthlink.net  
949.573.2135

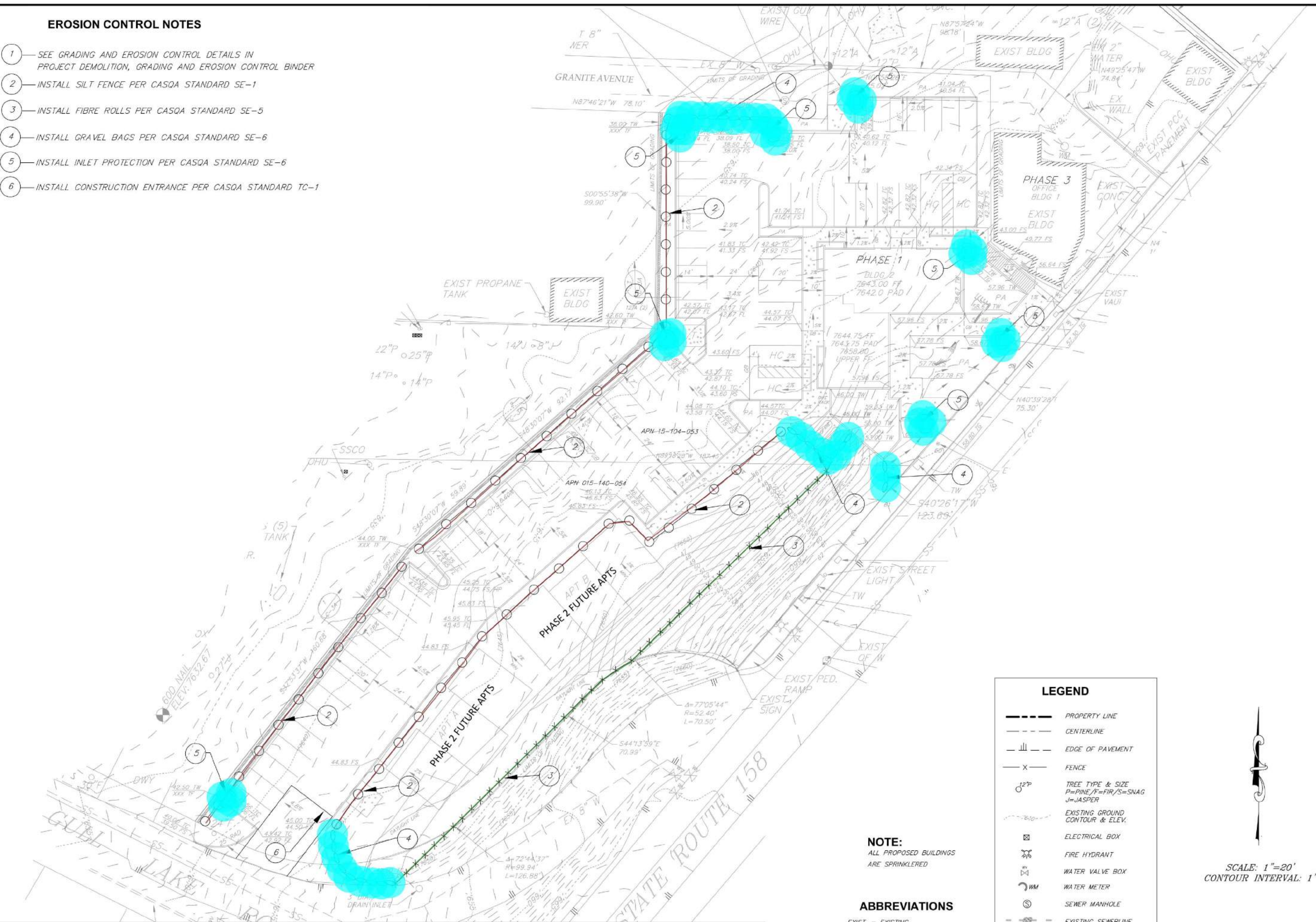
SHEET TITLE: SITE GRADING PLAN  
PROJECT: JUNE LAKE BUSINESS CENTER  
ADDRESS: 2784 HIGHWAY 158  
JUNE LAKE, CA 93529

DATE: 9-8-23  
DRAWING NO.: C-3



EROSION CONTROL NOTES

- 1—SEE GRADING AND EROSION CONTROL DETAILS IN PROJECT DEMOLITION, GRADING AND EROSION CONTROL BINDER
- 2—INSTALL SILT FENCE PER CASQA STANDARD SE-1
- 3—INSTALL FIBRE ROLLS PER CASQA STANDARD SE-5
- 4—INSTALL GRAVEL BAGS PER CASQA STANDARD SE-6
- 5—INSTALL INLET PROTECTION PER CASQA STANDARD SE-6
- 6—INSTALL CONSTRUCTION ENTRANCE PER CASQA STANDARD TC-1



NOTE:  
ALL PROPOSED BUILDINGS  
ARE SPRINKLERED

ABBREVIATIONS

EXIST = EXISTING  
CONC = CONCRETE  
SSCO = SANITARY SEWER CLEANOUT  
E. METER = ELECTRIC METER  
BLDG = BUILDING  
E. OUTLET = ELECTRIC OUTLET  
IRR = IRRIGATION  
PED = PEDESTRIAN

LEGEND

- PROPERTY LINE
- CENTERLINE
- EDGE OF PAVEMENT
- X- FENCE
- 12P TREE TYPE & SIZE  
P=PINE/F=FIR/S=SNAG  
J=JASPER
- EXISTING GROUND  
CONTOUR & ELEV.
- ⊠ ELECTRICAL BOX
- ⊠ FIRE HYDRANT
- ⊠ WATER VALVE BOX
- ⊠ WATER METER
- ⊠ SEWER MANHOLE
- EXISTING SEWERLINE
- OVERHEAD UTILITIES
- ⊠ TEMPORARY BENCHMARK:  
60D NAIL  
ELEVATION=7632.67

SCALE: 1"=20'  
CONTOUR INTERVAL: 1'

PROGRESS PRINTS  
NOT FOR CONSTRUCTION  
DATE:

RMS GROUP  
LAND DEVELOPMENT  
PLANNING AND DESIGN SERVICES  
BOB STRONG, PE  
mssced@earthlink.net  
949.573.2135

SHEET TITLE: EROSION CONTROL PLAN  
PROJECT: SIERRA CREST PLAZA  
ADDRESS: HIGHWAY 158  
JUNE LAKE, CA 93529

DATE: 1-25-23  
DRAWING NO.: C-3B

- Silt Fence Per CASQA Standard SE-1
- Gravel Bags Per CASQA Standard SE-6
- Fiber Rolls Per CASQA Standard SE-1

697.3 FT

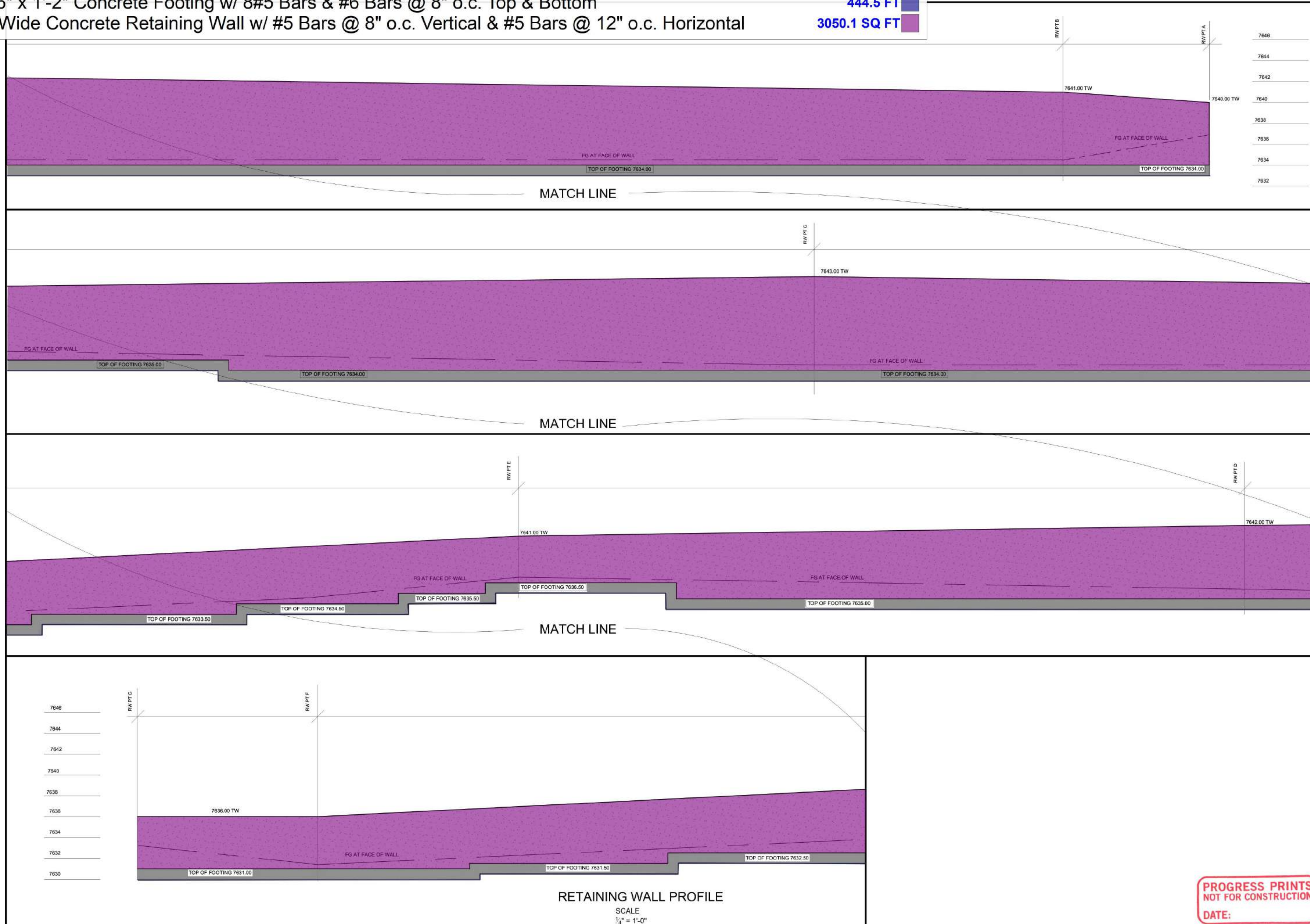
61.0 EA

281.3 FT



- 3'-6" x 1'-4" Wall Key w/ #6 Bars @ 8" o.c. EW
- 5'-6" x 1'-2" Concrete Footing w/ 8#5 Bars & #6 Bars @ 8" o.c. Top & Bottom
- 8" Wide Concrete Retaining Wall w/ #5 Bars @ 8" o.c. Vertical & #5 Bars @ 12" o.c. Horizontal

444.5 FT  
444.5 FT  
3050.1 SQ FT



DATE: BY: BS

NO. REVISIONS: A

SHEET TITLE: RETAINING WALL PROFILE

PROJECT: JUNE LAKE BUSINESS CENTER

ADDRESS: 2784 HIGHWAY 158, JUNE LAKE, CA 95629

DATE: 9-8-23

DRAWING NO.: C-3E

RMS GROUP

LAND DEVELOPMENT

PLANNING AND DESIGN SERVICES

BOB STRONG, PE

mssced@earthlink.net

949.573.2135

PROGRESS PRINTS

NOT FOR CONSTRUCTION

DATE:





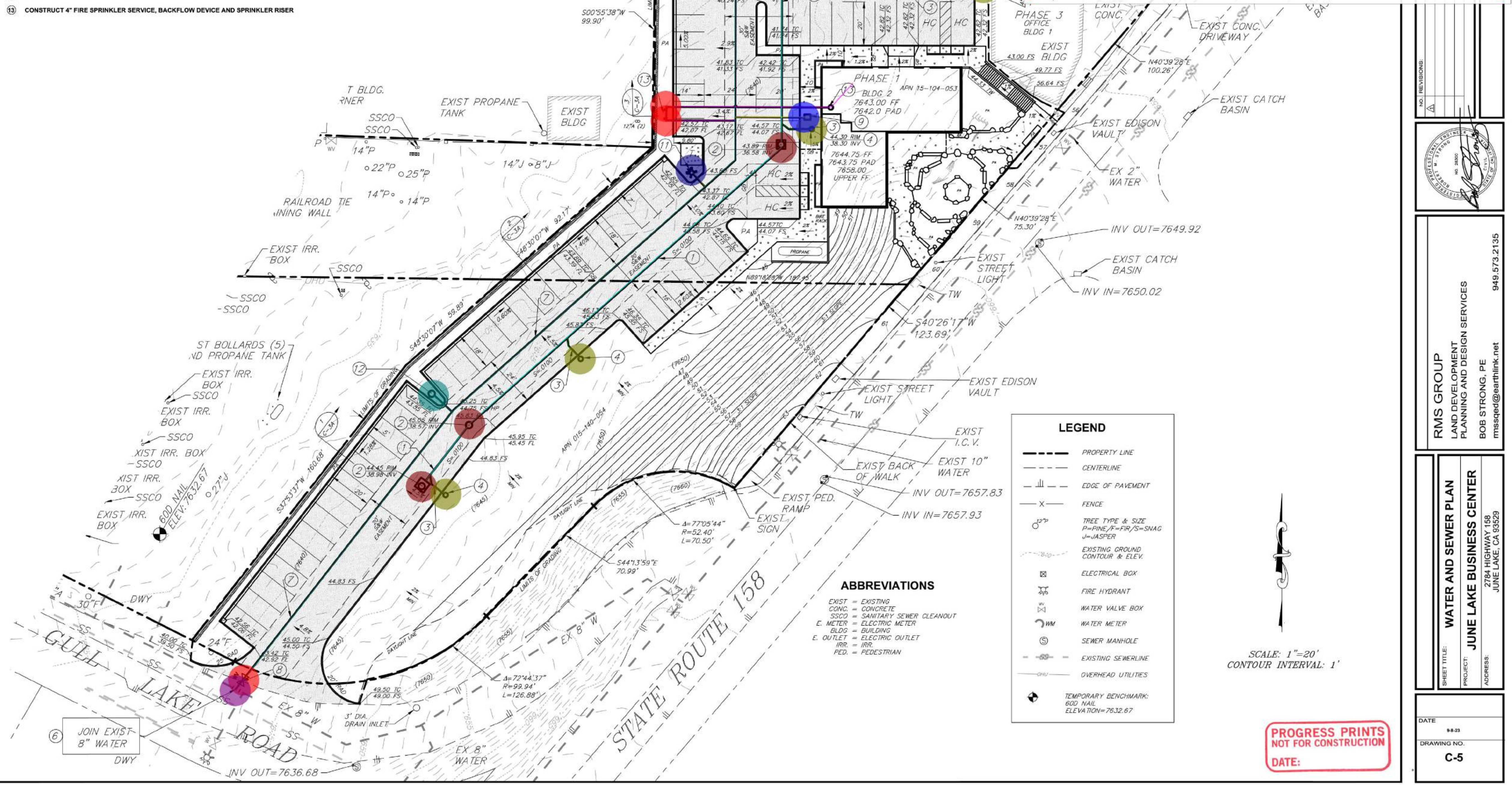


# CONSTRUCTION NOTES

1. CONSTRUCT 8" PVC SEWER PER JLPUD
2. CONSTRUCT SEWER MANHOLE PER APWA STD PLAN 200-4 AND JLPUD
3. CONSTRUCT 6" SEWER LATERAL PER APWA STD PLAN 222-2 AND JLPUD
4. CONSTRUCT SEWER CLEANOUT PER APWA STD PLAN 204-3 AND JLPUD
5. CORE EXISTING MANHOLE AND JOIN PER APWA STD PLAN 208-3 AND JLPUD
6. JOIN EXISTING 8" WATER, INSTALL 8" TEE PER JLPUD
7. CONSTRUCT 8" PVC WATER LINE PER JLPUD
8. CONSTRUCT 8" GATE VALVE PER JLPUD
9. CONSTRUCT 2" PVC WATER SERVICE AND METER PER JLPUD
10. CONSTRUCT 2" PVC WATER SERVICE AND JOIN EXISTING 2" WATER SERVICE AND METER PER JLPUD
11. CONSTRUCT FIRE HYDRANT AND 6" SERVICE PER JLPUD
12. CONSTRUCT AIR VAC AT HIGH POINT IN LINE PER JLPUD
13. CONSTRUCT 4" FIRE SPRINKLER SERVICE, BACKFLOW DEVICE AND SPRINKLER RISER

- 8" Dia PVC Sewer per JLPUD
- Precast Concrete Sewer Manhole
- 6" Dia Sewer Lateral Per APWA STD Plan 222-2 and JLPUD
- Terminal Cleanout w/ Access Frame & Cover
- Core Existing Manhole and Join per APWA STD Plan 208-3 and JLPUD
- Join Existing 8" Water Line
- 8" Dia PVC Water Line Per JLPUD
- Install 8" Water Gate Valve per JLPUD
- 2" Dia PVC Water Line Per JLPUD
- Water Meter
- 4" Dia PVC Water Line Per JLPUD
- Join Existing 2" Water Line
- 6" Dia PVC Water Line Per JLPUD
- Fire Hydrant
- Construct Air VAC at High Point in Line Per JLPUD
- Sprinkler Backflow Device

329.8 FT	3.0 EA
133.7 FT	4.0 EA
475.7 FT	2.0 EA
195.2 FT	1.0 EA
129.9 FT	1.0 EA
10.0 FT	1.0 EA
1.0 EA	2.0 EA



## LEGEND

---	PROPERTY LINE
---	CENTERLINE
---	EDGE OF PAVEMENT
---	FENCE
○	TREE TYPE & SIZE P=PINE, F=FIR/S=SNAG J=JASPER
---	EXISTING GROUND CONTOUR & ELEV.
⊠	ELECTRICAL BOX
⊠	FIRE HYDRANT
⊠	WATER VALVE BOX
⊠	WATER METER
⊠	SEWER MANHOLE
---	EXISTING SEWERLINE
---	OVERHEAD UTILITIES
⊠	TEMPORARY BENCHMARK: 60D NAIL ELEVATION=7632.67

## ABBREVIATIONS

EXIST	= EXISTING
CONC.	= CONCRETE
SSCO	= SANITARY SEWER CLEANOUT
E. METER	= ELECTRIC METER
BLDG	= BUILDING
E. OUTLET	= ELECTRIC OUTLET
IRR.	= IRRIGATION
PED.	= PEDESTRIAN

SCALE: 1"=20'  
CONTOUR INTERVAL: 1'

PROGRESS PRINTS  
NOT FOR CONSTRUCTION  
DATE:

NO REVISIONS

PROFESSIONAL ENGINEER  
JUNE L. STRONG  
JUNE 2023

RMS GROUP  
LAND DEVELOPMENT  
PLANNING AND DESIGN SERVICES  
BOB STRONG, PE  
mssqed@earthlink.net  
949.573.2135

SHEET TITLE: WATER AND SEWER PLAN  
PROJECT: JUNE LAKE BUSINESS CENTER  
ADDRESS: 2784 HIGHWAY 158  
JUNE LAKE, CA 93529

DATE: 9.8.23  
DRAWING NO.: C-5



**JUNE LAKE  
BUSINESS CENTER  
PHASE 1**

2784 CA HWY 158  
JUNE LAKE, CA 23529

JOB TITLE \*ADDRESS  
OWNERS REPRESENTATIVE

**DON MORTON**  
PO BOX 237  
JUNE LAKE, CA 93529

Copyright 1972 - D.S. Ewing Architects, Inc.  
All rights reserved. Designs, Drawings and Specifications as instruments of service are and shall remain the property of the Architect whether the project for which they are made is executed or not. They are not to be used on other projects or extensions to this Project except by agreement in writing and with appropriate compensation to the Architect.

**D.S. EWING  
ARCHITECTS  
INC. A.I.A.**

723 E. California Blvd.  
Pasadena, CA 91106  
office: 626.584.0860  
fax: 626.584.5905  
ewingarchitects.com

These drawings are to be considered preliminary and are not approved for construction until the owner and the Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents and conditions as set forth in these documents.

OWNER  
ARCHITECT  
CONTRACTOR

JOB #: 19-932  
DRAWN LAST: EWING  
ARCHITECTS  
SHEET DATE: Oct. 31, 23  
PLOTTED: Nov. 1, 23

**REVISIONS**

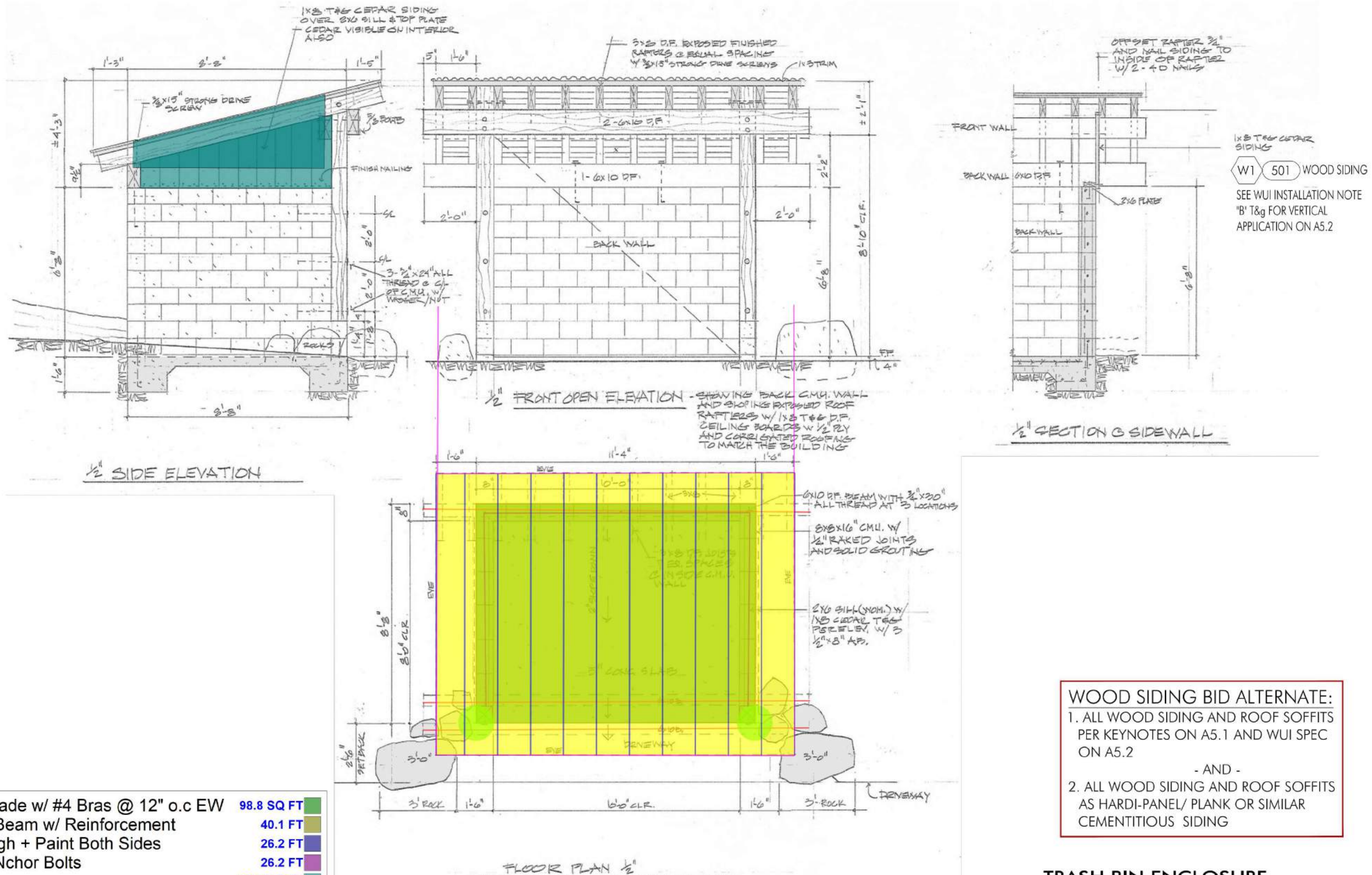

AGENCY STAMPS

TRASH BIN ENCLOSURE

SHEET TITLE

A1.4

SHEET NO.



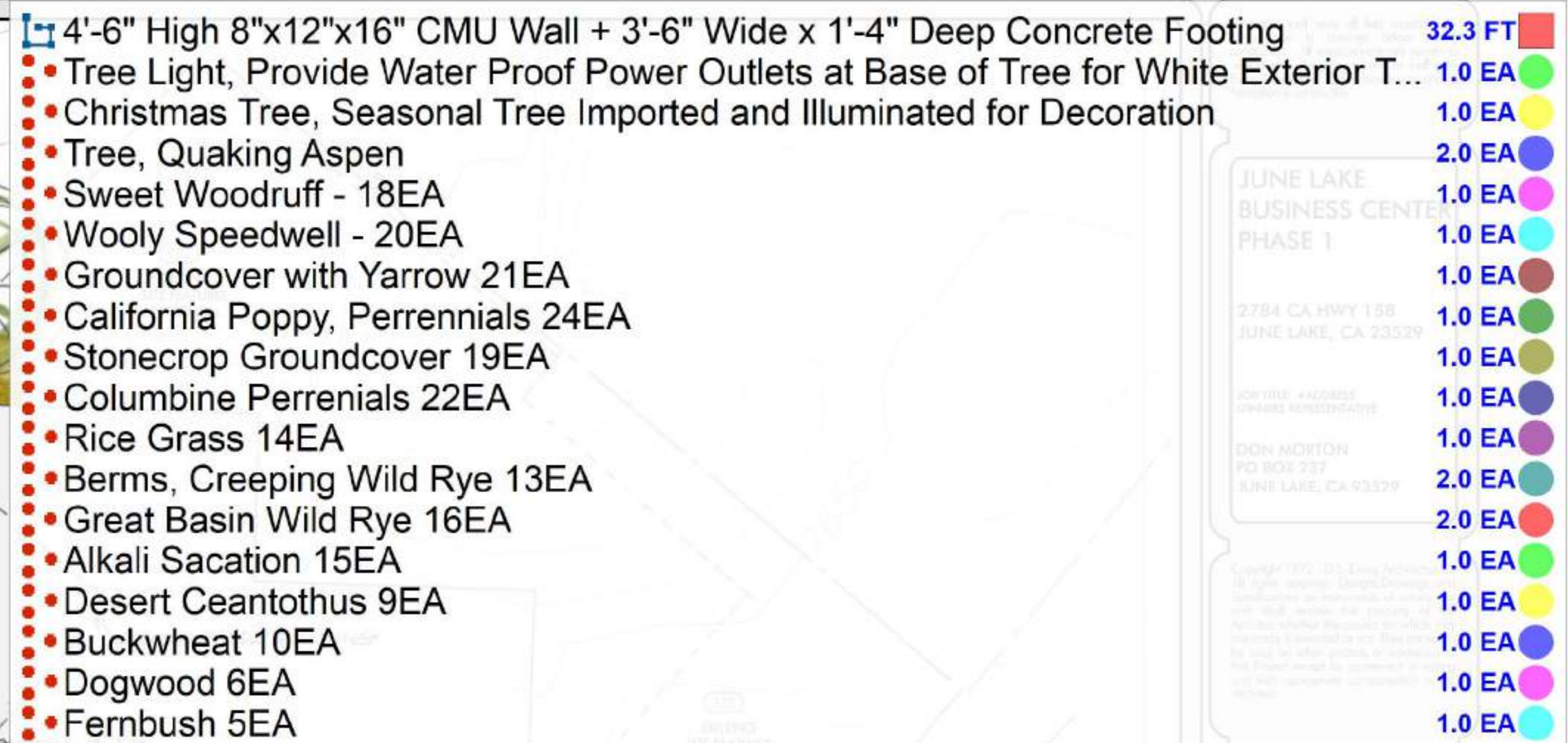
**WOOD SIDING BID ALTERNATE:**  
1. ALL WOOD SIDING AND ROOF SOFFITS PER KEYNOTES ON A5.1 AND WUI SPEC ON A5.2  
- AND -  
2. ALL WOOD SIDING AND ROOF SOFFITS AS HARDI-PANEL/ PLANK OR SIMILAR CEMENTITIOUS SIDING

**TRASH BIN ENCLOSURE**  
SCALE: 1/4"=1'-0"

**PROGRESS PRINTS  
NOT FOR CONSTRUCTION**  
DATE:

5" Thick Concrete Slab on Grade w/ #4 Bras @ 12" o.c. EW	98.8 SQ FT
1'-6" x 1'-1" Concrete Grade Beam w/ Reinforcement	40.1 FT
8"x8"x16" CMU wall - 6'-8" High + Paint Both Sides	26.2 FT
2x6 Sill Plate w/ 3 1/2" x 8" ANchor Bolts	26.2 FT
1x8 T&G Cedar Siding	30.8 SQ FT
6x10 DF Beam w/ 3/4" x 30" Threads	47.0 FT
8x8 DF Post - 10'-0"H	2.0 EA
Roof Framing - 3x8 Roof Rafters @ Equal Spcaing + Met...	163.2 SQ FT
3x8 DF-L Roof Rafters	135.1 FT
1x3 Trim	64.9 FT





**D.S. EWING  
ARCHITECTS  
INC. A.I.A.**

723 E. California Blvd.  
Pasadena, CA 91106  
office: 626.584.0860  
fax: 626.584.5905  
ewingarchitects.com

These drawings are to be considered preliminary and are not approved for construction until the owner and the Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents and conditions as set forth in these documents.

130. **CONCRETE WALKWAY:** CONCRETE WITH EXPOSED  $\frac{3}{8}$  - 1" AGGREGATE WITH FORMED LINES AS SHOWN
131. **CONCRETE PLAZA WALK:** 1" 20' SHROUD THROUGHOUT AND POSITIVE DRAINAGE AWAY FROM BUILDING TO STREET AND NATURAL SLOPES
132. **CONCRETE BENCHES:** 18" W. X18" H. FORMED WITH OSB .5" DETAILS
133. **GRANITE BOULDERS:** SIZES FROM 16" MIN. UP TO  $\pm 4'$ ; INSTALLED TO THEY PROJECT OUT OF GROUND/ CONCRETE AND NOT LOOK LIKE THEY SIT ON TOP OF THE FINISH SURFACE
134. **WOOD BENCHES:** - SEE DETAILS
135. **DECOMPOSED GRANITE:** INSTALLED AND COMPACTED WITH SEALER PER SPECS AND DETAILS.
136. **TREE LIGHTS:** PROVIDE WATER PROOF POWER OUTLETS AT BASE OF TREE FOR WHITE EXTERIOR TREE LIGHTS WITH WATERPROOF BLACK CABLE SYSTEM.
137. **CHRISTMAS TREE:** SEASONAL TREE IMPORTED AND ILLUMINATED FOR DECORATION
138. **TREES:** ALL NEW TREES SWEET ASH (2), JUNO
139. **NATURAL PLANTING:** SWEET WOODS (18) AND WOOLY SUEWILL (20) TO GROUND, REDWOOD (21) AND CALIFORNIA POPPY (24) PERMANENT
142. **CMU PLANTERS:** STONE COP GROUND COVER (19) WITH COLUMBINE PERENNIALS (22) AND ROSE GLASS (14).
143. **BERMS:** 6" TALL WILD RYE (13) WITH GREAT BASIN WILD RYE (16) AT BASED AROUND BOULDERS
144. **NATIVE MEADOW:** CREEPING WILD RYE (13), GREAT BASIN WILD RYE (16), YUKON SAGE (17), ALKALINE FOGGES AND BETWEEN BOULDERS, DESERT LARK (18) AND WILD YAM (19) WHAT (10) @ TO OF SLOPE, DOGWOOD (2), FEEBLY (2), EAST P.E.
145. **EXISTING BUILDING:** ALL EXISTING SITE FEATURES SUPPORTING THE EXISTING BUILDING INCLUDING DECK, RAMPS, AND DIRT DRIVEWAY TO REMAIN IN PLACE UNTIL PHASE 2 CONSTRUCTION WHEN BUILDING IS DEMOLISHED.

\* (#) NUMBER IN PARENTHESES REFERENCES PLANT NUMBER ON PLANTING SCHEDULE A1.3A

**ZONE1**  
(WITHIN 15 FEET OF THE STRUCTURE), ELIMINATE ALL FLAMMABLE MATERIALS/ISLE-FRONE VEGETATION, WOOD STACKS, WOOD DECKING, PATIO FURNITURE, UMBRELLAS, ETC.). IRRIGATED GRASS, ROCK GARDENS, NON-FLAMMABLE DECKING, OR STONE PATIOS ARE DESIRABLE SUBSTITUTIONS.

**ZONE2**  
(1570 TO 100 FEET FROM THE STRUCTURE) THIN TREES AND LARGE SHRUBS SO THERE IS AT LEAST 10 FEET BETWEEN TREE TOPS/CROWNS. CROWN SEPARATION IS MEASURED FROM THE FURTHEST BRANCH OF ONE TREE TO THE NEAREST BRANCH ON THE NEXT TREE. REMOVE ALL LADDER TREES FROM UNDER THESE REMAINING TREES. PRUNE ALL TREES TO A HEIGHT OF AT LEAST 10 FEET, OR 1/3 OF THE LIVE CROWN HEIGHT. SMALL CLUMPS OF 2 TO 3 TREES MAY OCCASIONALLY LEFT BUT LEAVE MORE SPACE BETWEEN THE CROWNS OF THESE CLUMPS AND SURROUNDING TREES ISOLATED SHRUBS MAY REMAIN, PROVIDED THEY ARE NOT UNDER TREE CROWNS. REMOVE DEAD STEMS FROM TREES AND SHRUBS ANNUALLY.

BRUSH AND SHRUBS ARE SMALLER THAN TREES, ORIENT FORMED BY A NUMBER OF VERTICAL OR SEMI-UPRIGHT BRANCHES ARISING CLOSE TO THE GROUND, ON NEARLY LEVEL GROUND (INCREASE 1.5 TIMES FOR SLOPE AND WINDY AREAS), MINIMUM SPACING

RECOMMENDATIONS BETWEEN CLUMPS OF BRUSH OR SHRUBS IS 2.5 TIMES THE HEIGHT OF THE CLUMP. THE MINIMUM QUARTER OF CLUMPS SHOULD BE 2 TIMES THE HEIGHT OF THE VEGETATION. LAND MEASUREMENTS ARE MADE FROM THE EDGES OF VEGETATION CROWNS.

## LEGEND

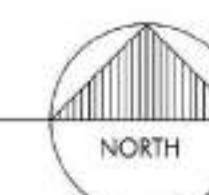
- 
- CONCRETE WALKWAY (130)  
W/ SCORE LINE AS SHOWN
- DECOMPOSED GRANITE (135)
- NATIVE PLANTING (136)  
GROUND COVER, GRASS,  
PERENNIALS, LOW SHRUBS
- NATIVE MEADOW/ SHRUBS  
SNOW STORAGE (144)

**PROGRESS PRINTS  
NOT FOR CONSTRUCTION**

**DATE:**

## LANDSCAPE PLAN

SCALE: 1/8"=1'-0"



OWNER
ARCHITECT
CONTRACT

JOB #: 19-932  
DRAWN LAST: EWING  
ARCHITECTS  
SHEET DATE: Jan. 30, 23

## REVISIONS

AGENCY STAMP:

LANDSCAPE PLAN

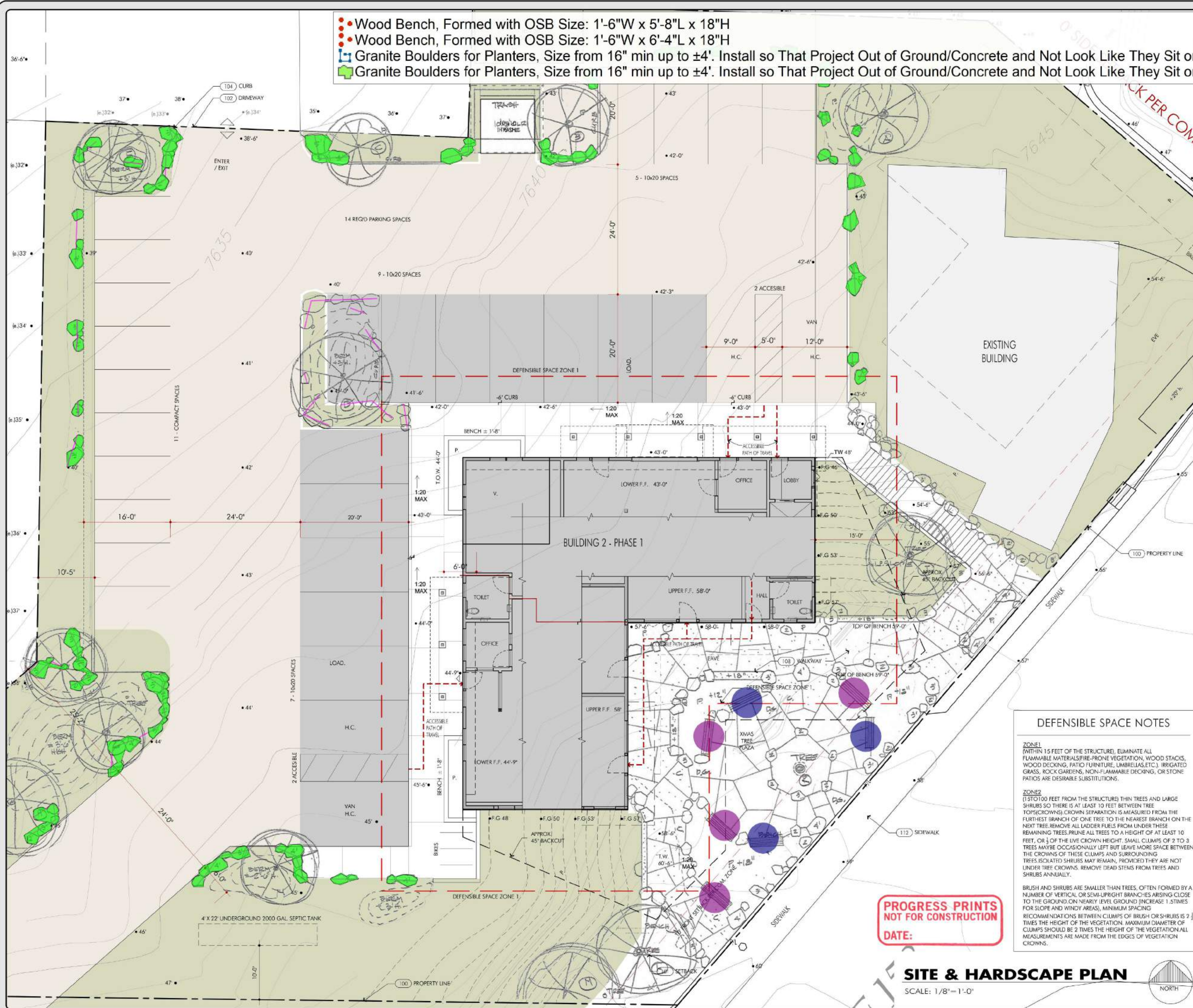
SHEET TITLE

A1.3

SHEET NO.



- Wood Bench, Formed with OSB Size: 1'-6"W x 5'-8"L x 18"H
- Wood Bench, Formed with OSB Size: 1'-6"W x 6'-4"L x 18"H
- Granite Boulders for Planters, Size from 16" min up to ±4'. Install so That Project Out of Ground/Concrete and Not Look Like They Sit on Top of The Finish Surface
- Granite Boulders for Planters, Size from 16" min up to ±4'. Install so That Project Out of Ground/Concrete and Not Look Like They Sit on Top of The Finish Surface



# SITE PLAN KEYNOTES

- AND DETAILS:
- A. GRADING & PAVING NOTES
- DEMOLITION DEBRIS AND OTHER UNSUITABLE MATERIAL SHOULD BE STRIPPED AND REMOVED FROM THE SITE. HOLES RESULTING FROM REMOVAL OF BURIED OBSTRUCTIONS WHICH EXTEND BELOW FINISHED SITE GRADES SHALL BE BACKFILLED W/ COMPACTED COMPETENT SOILS.
  - ALL FILL AREAS SHALL BE MECHANICALLY COMPACTED TO 90% MINIMUM DENSITY.
  - ALL CUTS SHALL BE NO MORE THAN 2 HORIZONTAL TO 1 VERTICAL. STEEP CUTS MUST BE APPROVED BY A LICENSED SOILS ENGINEER.
  - ALL PAVING SHALL BE SLOPED SO THAT PONDING DOES NOT OCCUR. WATER SHALL FLOW AWAY FROM ALL STRUCTURES AND TO A PROPER PLACE OF COLLECTION. DRAINAGE SHALL BE AS INDICATED ON SITE PLAN.
  - FINAL "FINISH" GRADING SHALL BE PERFORMED BY CONTRACTOR AND SHALL INCLUDE SWALS AND BERMS AROUND BUILDING AND SITE WALLS AS DIRECTED BY ARCHITECT AT THE APPROPRIATE TIME IN CONSTRUCTION.
- B. BLDG. LOCATION:
- THIS BUILDING'S LOCATION IS DETERMINED BY THE DATUM POINT PROVIDED ON THIS PLAN. DATUM POINTS ARE TO BE REFERENCED FROM KNOWN PROPERTY LINES AND LOCATED USING PROVIDED DIMENSIONS AND ANGLES. FIELD ADJUSTMENT SHOULD BE ANTICIPATED BY THE CONTRACTOR. BLDG. IS TO BE STAKED OUT FOR OWNER/ARCHITECT APPROVAL PRIOR TO ANY FURTHER WORK.
- C. THE BUILDING:
- CONTRACTOR IS TO NOTIFY ARCHITECT PRIOR TO PERFORMING ANY WORK (CHANGES) REQUESTED BY THE OWNER WHICH DO NOT MATCH WHAT IS SHOWN ON THESE PLANS, AFFECTING THE STRUCTURAL AND/OR AESTHETIC ELEMENTS OF THIS BUILDING. ARCHITECT MUST BE GIVEN THE OPPORTUNITY TO DISCUSS SUCH CHANGES WITH THE OWNER TO AVOID CREATING ANY DANGEROUS STRUCTURAL CONDITIONS OR OTHER CHANGES WHICH MAY HAVE TO BE UNDONE LATER, CAUSING UNNECESSARY EXPENSE AND DELAYS.
- D. TOPOGRAPHY:
- ALL SURVEY AND TOPOGRAPHY INFORMATION HAS BEEN PROVIDED BY THE OWNER. GRADES AND ELEVATIONS SHOWN MAY DIFFER FROM ACTUAL CONDITIONS. CONTRACTOR SHALL VERIFY ACTUAL GRADES AND ELEVATIONS ON SITE AND DISCUSS ANY DISCREPANCIES WITH THE ARCHITECT, OWNER AND A LICENSED CIVIL ENGINEER AS DEEMED NECESSARY. ALTHOUGH GRADING IS NOT A SIGNIFICANT COMPONENT OF THE WORK DESCRIBED IN THESE PLANS, IT IS REQUIRED THAT ADEQUATE SLOPE OF 2% MINIMUM BE PROVIDED FROM ALL EXTERIOR WALLS OUTWARD FOR A DISTANCE OF 5' MINIMUM.
- E. UTILITIES:
- ALL NECESSARY UTILITIES FOR THE OPERATION OF THIS FACILITY ARE TO BE PROVIDED ON A DESIGN/BUILD BASIS. THE CONTRACTOR IS TO VERIFY WITH OWNER, SUB-TRADES AND A CIVIL ENGINEER WHERE EACH POINT OF CONNECTION IS TO BE TAKEN FROM AND HOW UTILITIES ARE TO BE ROUTED TO THE NEW FACILITY.
- F. ELECTRICAL SERVICE:
- PROVIDE ADEQUATE ELECTRICAL SERVICE (CAPACITY) TO THIS LOCATION. VERIFY WITH ELECTRICAL DRAWINGS. CONTRACTOR TO PROVIDE NECESSARY MAIN SERVICE PANEL, SUBPANELS, ETC. FOR THIS BUILDING AND TO VERIFY LOCATION AT BLDG. WITH OWNER AND GOVERNING AGENCY. IT IS ASSUMED AND RECOMMENDED THAT THIS SERVICE BE ROUTED UNDERGROUND ACROSS THE PROPERTY TO THE MAIN SERVICE PANEL.
- G. PROPAANE:
- INSTALL NEW PROPANE TANK OF APPROPRIATE SIZE PER GOVERNING AUTHORITY'S SPECIFICATIONS. CONTRACTOR TO SIZE TANK BASED ON REQUIREMENTS OF ALL GAS SUPPLIED EQUIPMENT SPECIFIED AND ANY OWNER ANTICIPATED NEEDS FOR THE FUTURE.
- H. WATER METER:
- INSTALL WATER METER PER GOVERNING AGENCY'S SPECIFICATIONS. PROVIDE PROPER LINE PRESSURE FOR RESIDENTIAL USE. PROVIDE PRESSURE REGULATOR FOR ADJUSTMENT.
- I. DRAINAGE:
- CONTRACTOR TO PROVIDE FOR POSITIVE DRAINAGE FLOW AWAY FROM BUILDING @ 1/2" PER FOOT MIN. ALL DRAINAGE TO FLOW TO EXISTING LEGAL COLLECTION POINTS AS DETERMINED BY LOCAL ORDINANCE OR INSPECTOR.

100. PROPERTY LINES: PROPERTY LINES WERE PROVIDED TO ARCHITECT BY OWNER. CONTRACTOR SHALL STAKE OUT AND VERIFY ALL POINTS / LINES WITH OWNER AND SURVEYOR FOR ACCURACY PRIOR TO CONSTRUCTION.
101. SETBACKS: VERIFY THAT BUILDING FALLS WITHIN SETBACKS AS SHOWN. NOTIFY ARCHITECT IF ADJUSTMENTS ARE REQUIRED PRIOR TO BEGINNING ANY WORK.
102. DRIVEWAY: INSTALL NEW DRIVEWAY PER CIVIL DRAWINGS. DRIVEWAY SHALL BE CONSTRUCTED TO THE EDGE OF EXISTING ROAD/PAVEMENT.
103. WALKWAY: 4" REINFORCED CONCRETE WALKWAY OVER 4" GRAVEL BASE WITH A THICKENED EDGE AND A LIGHT BROOM FINISH. DOWEL TO ADJACENT FOOTINGS / FLATWORK WHERE THEY ABUT. PROVIDE CONTROL JOINTS AS INDICATED. PROVIDE DRAINAGE AWAY FROM BUILDING AS SHOWN.
104. CURB CUT: PER CIVIL DRAWINGS
105. FENCE
106. UTILITY SERVICE LINES:
107. ELECTRIC METERS: SEE ELECTRICAL DRAWINGS.
108. SERVICE METERS: (GAS & ELEC) SHALL BE LOCATED AS PER THESE PLANS UNLESS ANOTHER LOCATION IS MANDATED OR REQUESTED BY THE APPROPRIATE SERVICE AGENCY AND APPROVED IN WRITING BY THE OWNER AND ARCHITECT.
112. SIDEWALKS: TO BE BUILT BY OTHERS. CONSULT WITH OWNER AS TO LOCATION OF PROPOSED SIDEWALK AND TERMINATE FLATWORK AS NECESSARY TO ALLOW FOR UNINTERRUPTED CONSTRUCTION OF SIDEWALK.

## DEFENSIBLE SPACE NOTES

**ZONE1**  
(WITHIN 15 FEET OF THE STRUCTURE) ELIMINATE ALL FLAMMABLE MATERIALS/FIRE-PRONE VEGETATION, WOOD STACKS, WOOD DECKING, PATIO FURNITURE, UMBRELLAS, ETC. IRRIGATED GRASS, ROCK GARDENS, NON-FLAMMABLE DECKING, OR STONE PATIOS ARE DESIRABLE SUBSTITUTIONS.

**ZONE2**  
(15 TO 100 FEET FROM THE STRUCTURE) THIN TREES AND LARGE SHRUBS SO THERE IS AT LEAST 10 FEET BETWEEN TREE TOPS (CROWNS). CROWN SEPARATION IS MEASURED FROM THE FURTHEST BRANCH OF ONE TREE TO THE NEAREST BRANCH ON THE NEXT TREE. REMOVE ALL LADDER FUELS FROM UNDER THESE REMAINING TREES. PRUNE ALL TREES TO A HEIGHT OF AT LEAST 10 FEET, OR 1/3 OF THE LIVE CROWN HEIGHT. SMALL CLUMPS OF 2 TO 3 TREES MAYBE OCCASIONALLY LEFT BUT LEAVE MORE SPACE BETWEEN THE CROWNS OF THESE CLUMPS AND SURROUNDING TREES ISOLATED SHRUBS MAY REMAIN, PROVIDED THEY ARE NOT UNDER TREE CROWNS. REMOVE DEAD STEMS FROM TREES AND SHRUBS ANNUALLY.

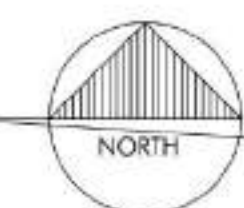
BRUSH AND SHRUBS ARE SMALLER THAN TREES, OFTEN FORMED BY A NUMBER OF VERTICAL OR SEMI-UPRIGHT BRANCHES ARISING CLOSE TO THE GROUND ON NEARLY LEVEL GROUND (INCREASE 1.5 TIMES FOR SLOPE AND WINDY AREAS). MINIMUM SPACING RECOMMENDATIONS BETWEEN CLUMPS OF BRUSH OR SHRUBS IS 2 1/2 TIMES THE HEIGHT OF THE VEGETATION. MAXIMUM DIAMETER OF CLUMPS SHOULD BE 2 TIMES THE HEIGHT OF THE VEGETATION. ALL MEASUREMENTS ARE MADE FROM THE EDGES OF VEGETATION CROWNS.

## LEGEND

- PERMEABLE PARKING (GRAVEL, D.G., LARGE AGG. ASPHALT)
- HARDSCAPE / PATHWAYS (CONCRETE, DECOMPOSED GRANITE)
- COMMERCIAL / RETAIL BUILDING & REQUIRED PARKING
- NATIVE LANDSCAPING/ SNOW STORAGE

## SITE & HARDSCAPE PLAN

SCALE: 1/8"=1'-0"



3.0 EA

4.0 EA

284.8 FT

400.8 SQ FT

**BUSINESS CENTER PHASE 1**

2784 CA HWY 158  
JUNE LAKE, CA 93529

JOB TITLE + ADDRESS  
OWNERS REPRESENTATIVE

**DON MORTON**  
PO BOX 237  
JUNE LAKE, CA 93529

Copyright 1972 - D.S. Ewing Architects, Inc.  
All rights reserved. Designs, Drawings and Specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. They are not to be used on other projects or extensions to this Project except by agreement in writing and with appropriate compensation to the Architect.

**D.S. EWING ARCHITECTS INC. A.I.A.**

723 E. California Blvd.  
Pasadena, CA 91106  
office: 626.584.0860  
fax: 626.584.5905  
ewingarchitects.com

These drawings are to be considered preliminary and are not approved for construction until the owner and the Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents and conditions as set forth in these documents.

OWNER

ARCHITECT

CONTRACTOR

JOB #: 19-932

DRAWN LAST: EWING ARCHITECTS

SHEET DATE: Jun. 28, 23

PLOTTED: Nov. 1, 23

**REVISIONS**

4/28/23 - REVISED APARTMENT PARKING AND ADDED PHASE 2 BUILDING FOOTPRINT

NO.	DESCRIPTION	DATE

AGENCY STAMPS

SITE & HARDSCAPE PLAN

SHEET TITLE

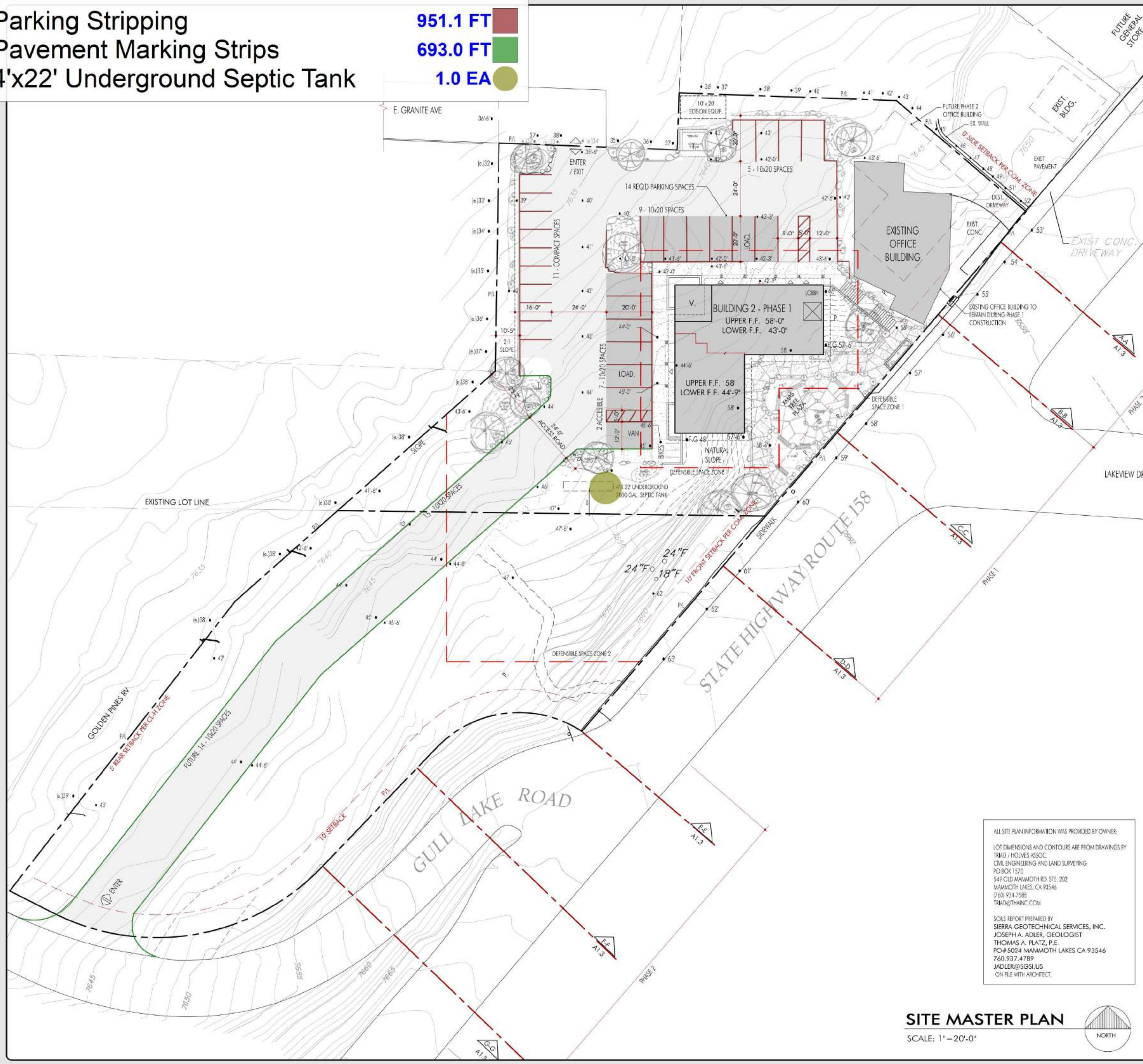
A1.2

SHEET NO.



 Parking Stripping  
 Pavement Marking Strips  
 4'x22' Underground Septic Tank

951.1 FT  
693.0 FT  
1.0 EA



ALL SITE PLAN INFORMATION WAS PROVIDED BY OWNER:  
LOT DIMENSIONS AND CONTOURS ARE FROM DRAWINGS BY  
TRIMCO / HOLMES ASSOC.  
CIVIL ENGINEERING AND LAND SURVEYING  
PO BOX 1570  
549 OLD MAMMOTH RD. STE. 202  
MAMMOTH LAKES, CA 93546  
(760) 934-7588  
TRIMCO@THAINC.COM

SOILS REPORT PREPARED BY:  
SIERRA GEOTECHNICAL SERVICES, INC.  
JOSEPH A. ADLER, GEOLOGIST  
THOMAS A. PLATZ, P.E.  
PO#5024 MAMMOTH LAKES CA 93546  
760.937.4789  
JADLER@SGSI.US  
ON FILE WITH ARCHITECT.

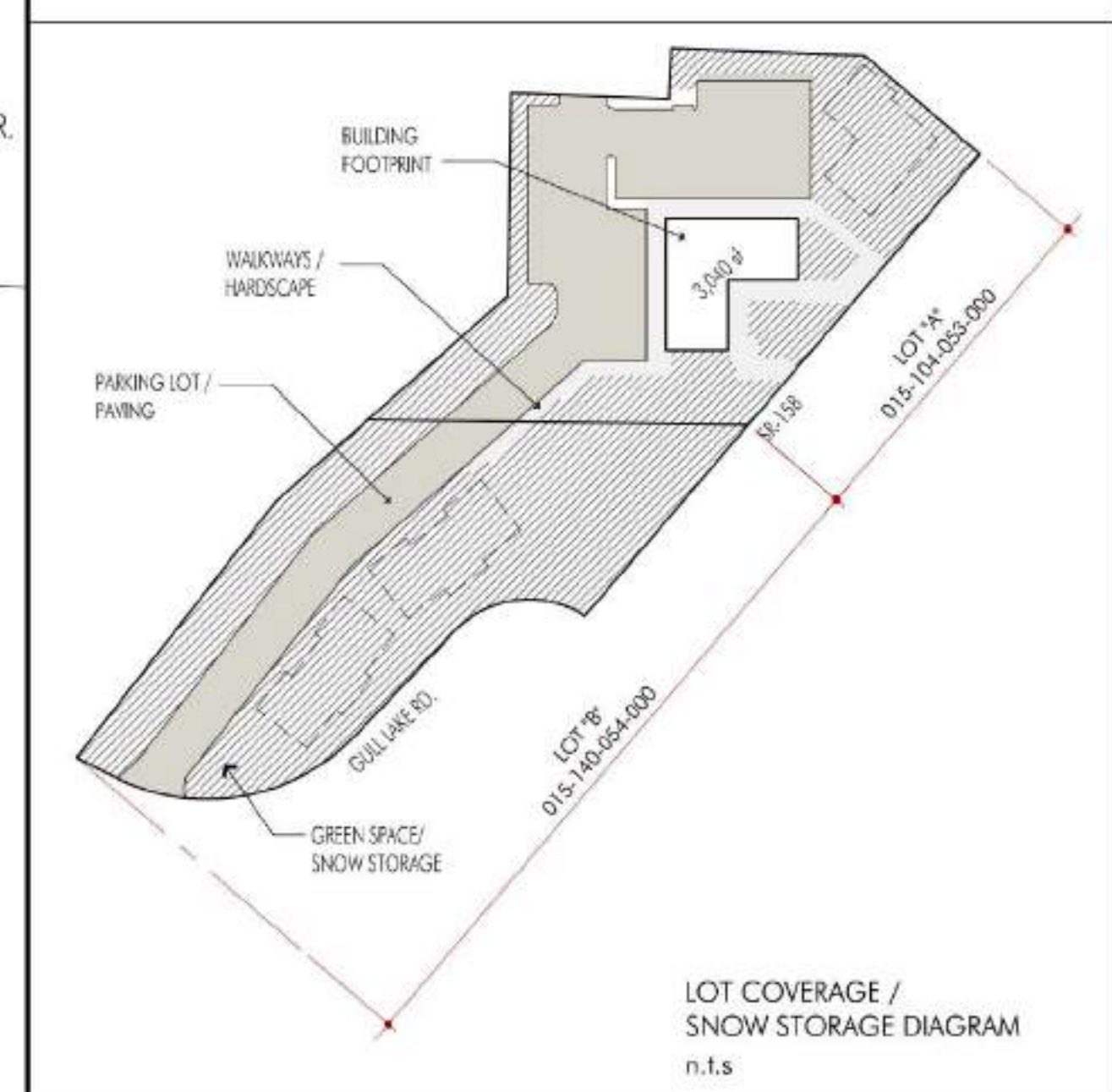
**SITE MASTER PLAN**  
SCALE: 1"=20'-0"

# SITE MASTER PLAN

BUILDING S.F.			
BUILDING	LOWER	UPPER	TOTALS
BUILDING #2:	3,040 SF	2,780 SF	5,820 SF

PHASE 1 - LOT COVERAGE			
	LOT "A"	LOT "B"	TOTALS
1. LOT SIZE:	33,542 SF	29,185 SF	62,727 SF
2. PARKING LOT / PAVING:	12,440 SF	6,035 SF	18,475 SF
3. GREEN SPACE / SNOW STO.:	14,492 SF	22,930 SF	37,422 SF
4. WALKWAYS / HARDSCAPE:	3,570 SF	220 SF	3,790 SF
5. BUILDING FOOTPRINTS:	3,040 SF	--	3,040 SF
LOT COVERAGE (2+4+5)	19,050 SF (57%)	6,255 SF (21%)	25,305 SF (40%)

PARKING REQUIRED PER TABLE 06.0190 OF MONO COUNTY CODE					
BLDG.	BLDG. SIZE	USE PER TABLE	PKG FACTOR	# OF SPACES	C.B.D. CREDIT
2ND FLR.	2,750 SF	OFFICE/RETAIL	1 SPACE / 200 SF	14 SPACES	9 SPACES
1ST FLOOR	1,115 SF	OFFICE/RETAIL	1 SPACE / 200 SF	6 SPACES	4 SPACES
1ST FLOOR	1,845 SF	WAREHOUSE	1 SPACE / 1000 SF	2 SPACES	1 SPACES
TOTAL SF	5,710 SF				
TOTAL SPACES REQUIRED FOR BUILDINGS 2 (PHASE 1)				22 SPACES	
SPACES REQ'D W/ CENTRAL BUSINESS DISTRICT PARKING CREDIT (60% OF REQ.)				14 SPACES	
ON SITE PARKING SPACES PROVIDED				32 SPACES PROVIDED	
COMPACT PARKING ALLOWED				40% OF 32 SPACES	
ADA PARKING				1 SPACE / 25 SPACES	
				13 SPACES ALLOWED	
				11 SPACES PROVIDED	
				2 REQ. 4 PROVIDED	



SNOW STORAGE		
CLEARED AREA	SQUARE FOOTAGE	SNOW STOR. REQ (65% PER 04.300)
PARKING LOT	18,475 SF	12,010 SF
PATHWAYS (NOT USED FOR STORAGE)	3,570 SF	2,320 SF
TOTAL SNOW STORAGE REQUIRED		14,330 SF
TOTAL SNOW STORAGE PROVIDED		37,020 SF

**PROGRESS PRINTS  
NOT FOR CONSTRUCTION**  
DATE:

LEGEND	
 PERMEABLE PARKING (GRAVEL, D.G., LARGE AGG. ASPHALT)	 PROPERTY LINE
 HARDSCAPE / PATHWAYS (CONCRETE, DECOMPOSED GRANITE)	 FIRE DEPT. DEFENSIBLE SPACE (SEE DESCRIPTIONS ON A1.3)
 COMMERCIAL / RETAIL BUILDING & REQUIRED PARKING	 CONTOUR LINES

Contractor shall verify all field conditions for conformance to drawings before starting construction. All measurements are subject to verification by the contractor and he shall notify Ewing Architects Inc. of any discrepancies prior to fabrication or construction.

## JUNE LAKE BUSINESS CENTER PHASE 1

2784 CA HWY 158  
JUNE LAKE, CA 93529

JOB TITLE + ADDRESS  
OWNER'S REPRESENTATIVE

DON MORTON  
PO BOX 237  
JUNE LAKE, CA 93529

Copyright 1972 - D.S. Ewing Architects, Inc. All rights reserved. Designs, Drawings and Specifications as instruments of service are and shall remain the property of the Architect whether the project for which they are made is executed or not. They are not to be used on other projects or extensions to this Project except by agreement in writing and with appropriate compensation to the Architect.

## D.S. EWING ARCHITECTS INC. A.I.A.

723 E. California Blvd.  
Pasadena, CA 91106  
office: 626.584.0860  
fax: 626.584.5905  
ewingarchitects.com

These drawings are to be considered preliminary and are not approved for construction until the owner and the Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents and conditions as set forth in these documents.

OWNER  
ARCHITECT  
CONTRACTOR

JOB #: 19-932  
DRAWN LAST: EWING ARCHITECTS  
SHEET DATE: Jun. 28, 23  
PLOTTED: Nov. 1, 23

## REVISIONS

9/20/23 - RE-CALCULATED FOR PHASE 1 ONLY - COMBINED MASTER AND PARKING PLANS  
6/28/23 - REMOVED APARTMENT PARKING AND ADDED PHASE 2 BUILDING FOOTPRINT

MONO COUNTY STAMPS

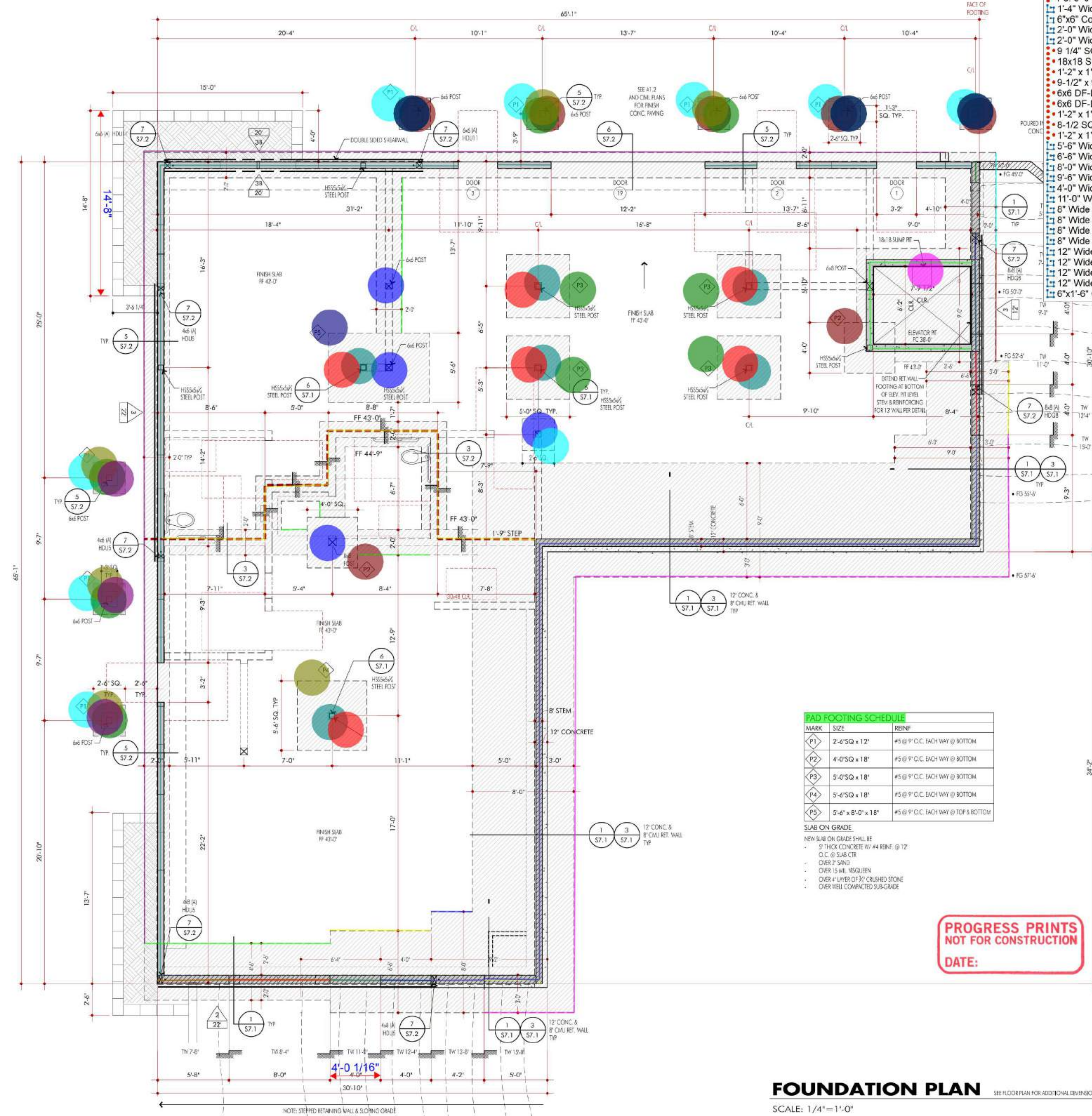
SITE MASTER PLAN

SHEET TITLE

A1.1

SHEET NO.





- FOUNDATION NOTES**
- P1: 2'-6" x 2'-6" x 12" Concrete Footing w/ #5 Bars 9" o.c. EW
  - P2: 4'-0" x 4'-0" x 18" Concrete Footing w/ #5 Bars 9" o.c. EW
  - P3: 5'-0" x 5'-0" x 18" Concrete Footing w/ #5 Bars 9" o.c. EW
  - P4: 5'-6" x 5'-6" x 18" Concrete Footing w/ #5 Bars 9" o.c. EW
  - P5: 5'-6" x 8'-0" x 18" Concrete Footing w/ #5 Bars 9" o.c. EW T&B
  - 1'-4" Wide x 2'-4" Deep Grade Beam w/ #4 Bars & #4 Dowels @ 16" o.c. + 0.06 SF Thickened Edge + 4" Dia D...
  - 6"x6" Concrete Curb w/ 1#4 Bar
  - 2'-0" Wide x 2'-4" Deep Grade Beam w/ #4 Bars + 0.12 SF Thickened Edge
  - 2'-0" Wide x 4'-2" Deep Grade Beam w/ #6 Bars + 0.12 SF Thickened Edge
  - 9 1/4" SQ x 1/2" Thick Steel Plate + 6 1/2" x 1/4" Thick Steel Knife Plate + (2) 5/8" Dia x Threads
  - 18x18 Sump Pit for Elevator
  - 1'-2" x 1'-2" x 1'-0" Concrete Pier w/ #4 Bars & #3 Ties @ 4" o.c.
  - 9-1/2" x 9-1/2" x 1/2" Base Plate + 1/4" Thick Bent Plate + (2) 3/4" Dia x Thru-Bolts
  - 6x6 DF-L Post - 10'
  - 6x6 DF-L Post - 8'
  - 1'-2" x 1'-2" x 2'-6" Concrete Pier w/ #4 Bars & #3 Ties @ 4" o.c.
  - 8-1/2 SQ x 1/2" Thick Base Plate + (4) 5/8" Dia A.B.
  - 1'-2" x 1'-2" x 1'-0" Concrete Pier for Interior Columns
  - 5'-6" Wide x 1'-4" High Concrete Footing w/ #6 Bars @ 16" o.c. T&B Transverse & #5 Bars @ 16" o.c. T&B Longit...
  - 6'-6" Wide x 1'-4" High Concrete Footing w/ #6 Bars @ 16" o.c. T&B Transverse & #5 Bars @ 16" o.c. T&B Longit...
  - 8'-0" Wide x 1'-6" High Concrete Footing w/ #6 Bars @ 16" o.c. T&B Transverse & #5 Bars @ 8" o.c. T&B Longit...
  - 9'-6" Wide x 1'-8" High Concrete Footing w/ #6 Bars @ 16" o.c. T&B Transverse & #5 Bars @ 8" o.c. T&B Longit...
  - 4'-0" Wide x 1'-4" High Concrete Footing w/ #6 Bars @ 16" o.c. T&B Transverse & #5 Bars @ 16" o.c. T&B Longit...
  - 11'-0" Wide x 1'-4" High Concrete Footing w/ #6 Bars @ 16" o.c. T&B Transverse & #5 Bars @ 16" o.c. T&B Longit...
  - 8" Wide x 3'-4" High Concrete Retaining Wall w/ #4 Bars @ 16" o.c. Hor. & Vert. & #6 Bars @ 16" o.c. Hor. & Vertic...
  - 8" Wide x 5'-4" High Concrete Retaining Wall w/ #4 Bars @ 16" o.c. Hor. & Vert. & #6 Bars @ 16" o.c. Hor. & Vertic...
  - 8" Wide x 7'-8" High Concrete Retaining Wall w/ #4 Bars @ 16" o.c. Hor. & Vert. & #6 Bars @ 16" o.c. Hor. & Vertic...
  - 12" Wide x 7'-0" High Concrete Retaining Wall w/ #4 Bars @ 16" o.c. Hor. & Vert. & #6 Bars @ 16" o.c. Hor. & Vertic...
  - 12" Wide x 4'-0" High Concrete Retaining Wall w/ #4 Bars @ 16" o.c. Hor. & Vert. & #6 Bars @ 16" o.c. Hor. & Vertic...
  - 12" Wide x 5'-0" High Concrete Retaining Wall w/ #4 Bars @ 16" o.c. Hor. & Vert. & #6 Bars @ 16" o.c. Hor. & Vertic...
  - 12" Wide x 15'-0" High Concrete Retaining Wall w/ #4 Bars @ 16" o.c. Hor. & Vert. & #6 Bars @ 16" o.c. Hor. & Vertic...
  - 6"x1'-6" Concrete Wall w/ #6 Bars @ 16" o.c.

**KEYNOTES**

NOTE: SEE SHEETS G0.1 & S0.1, S0.2 & S0.3 FOR ADDITIONAL GENERAL NOTES, REQUIREMENTS, AND TYPICAL DETAILS FOR STRUCTURAL ASPECTS OF THIS WORK.

REFER TO SHEET S0.1 AND S0.2 FOR TYPICAL DETAILS WHICH MAY OR MAY NOT BE REFERENCED TO SPECIFIC LOCATIONS.

STEP FOOTINGS WITH GRADE AS SHOWN AND/OR AS REQUIRED BY SITE. REFER TO DETAIL 1-S0.1 FOR TYPICAL STEP FOOTING DETAIL.

SEE SHEET S0.3 FOR SHEAR WALL INFORMATION: NAILING, DETAILS, NOTES, ETC.

WALL SHEATHING NOTE: ALL EXTERIOR WALLS SHALL BE SHEAR WALL, TYP. U.N.O.



**LEGEND**

- CONC. FOOTING WITH 12" CONC. RETAINING WALL WITH 8" CMU STEM WALL ABOVE. SEE DETAILS
- CONC. SLAB F.F. 43'-0" SEE ALSO DETAILS
- CONC. SLAB F.F. 44'-9" SEE ALSO DETAILS
- INDICATES CMU PLANTER WITH WATERPROOFING INTERIOR WEEP OPENING AND FULL WATERPROOF BUILDING WALL WITH IRRIGATION. SEE DETAILS
- 8" (U.N.O.) CMU WALL
- 6"x6" CONC. CURB
- INT. WALL ABOVE WOMANIZED PLATES AND 2X6 FRAMING
- FLOOR BEAM
- FLOOR JOIST w/ HANGER @ BEARING
- POST CALLOUT w/ FRAMING HARDWARE CALLOUT INSTALL POST BASE FLUSH w/ T.O.C. @ 1" CALLOUT - SEE TYP. DETAILS
- NOTE: SEE TYP. DETAILS, SHEET S0.2 FOR TYP. CONDITIONS WHEN NO CALLOUT
- POST BELOW - ABY & BELOW - ABOVE
- SHEAR WALL w/ REQ'D LENGTH. REFER TO SHEAR WALL SCHEDULE and SHEAR WALL NOTES (SHEET S0.3) FOR MORE INFO.
- SHEAR WALL STRAPPING THIS WALL, SEE DETAIL 1B, SHEET S0.3
- SIMPSON HD-2A TO (2) 2x6 STUDS U.N.O. ON PLAN
- F.C. INDICATED APPROX. FINISH CONC. FINING
- F.G. INDICATED APPROX. FINISH EARTH SLOPES @ BUILDING PERIMETER. SEE ELEVATIONS
- F.G. 105'-0" GRADE ELEVATION
- T.O.C. 1'-0" TOP OF FOUNDATION ELEVATION (T.O.S. = TOP OF SLAB ELEVATION)

ALL DIMENSIONS ARE TO EDGE OF CONCRETE SLAB AND/OR FACE OF PLYWOOD STUD, U.N.O.

REFER TO SHEET S0.1, S0.2 & S0.3 FOR TYP. DETAILS AND REST OF THIS SET FOR BUILDING CLARIFICATION

**PROGRESS PRINTS NOT FOR CONSTRUCTION**

DATE:

**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

**REVISIONS**

NO.	DESCRIPTION	DATE

**OWNER**

**ARCHITECT**

**CONTRACTOR**

JOB #: 19-932

DRAWN LAST: EWING ARCHITECTS

SHEET DATE: Oct. 26, 23

PLOTTED: Nov. 1, 23

**AGENCY STAMPS**

**FOUNDATION PLAN**

**SHEET TITLE**

**S2.1**

**SHEET NO.**

**D.S. EWING ARCHITECTS INC. A.I.A.**

723 E. California Blvd.  
Pasadena, CA 91106  
office: 626.584.0860  
fax: 626.584.5905  
ewingarchitects.com

These drawings are to be considered preliminary and are not approved for construction until the owner and the Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents and conditions as set forth in these documents.







## NOTE:

SEE SHEET S0.4 FOR SHEAR WALL  
INFORMATION: NAILING, DETAILS, NOTES..ETC.

## ROOF SHEATHING NOTE:

5/8" T&G CDX-1 PLYWOOD w/ Bd EDGE NAIL @ 6" o/c &  
8d FIELD NAIL @ 12" o/c (Capacity = 180#)

## WALL SHEATHING NOTE:

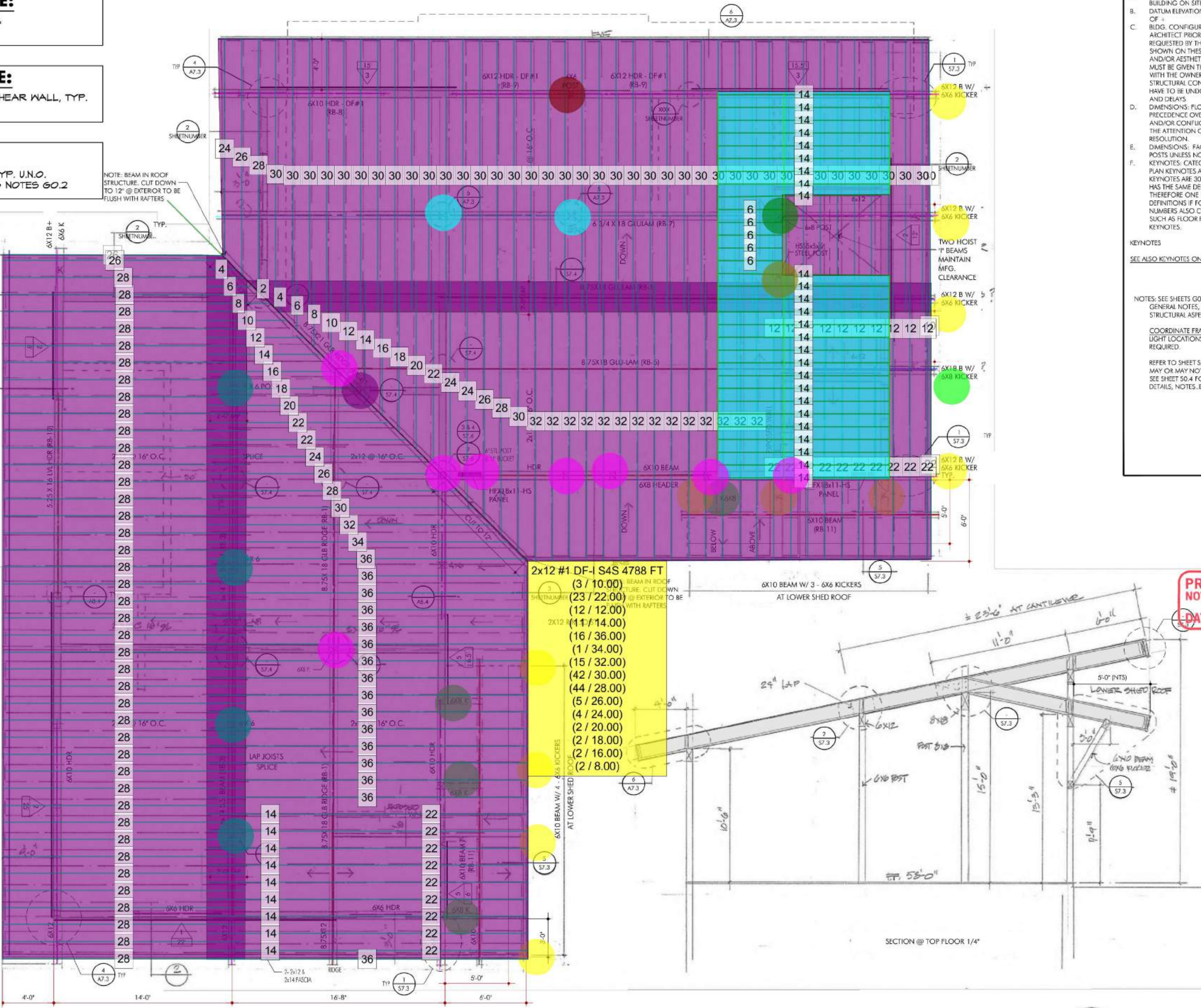
ALL EXTERIOR WALLS SHALL BE  SHEAR WALL, TYP.  
U.N.O.

## ROOF FRAMING NOTE:

ALL ROOF RAFTERS SHALL BE D.F.#1 TYP. U.N.O.  
SEE ALSO ROUGH CARPENTRY GRADING NOTES 60.2

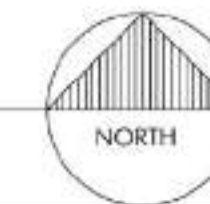
NOTE: BEAM IN ROOF  
STRUCTURE. CUT DOWN  
TO 12" @ EXTERIOR TO BE  
FLUSH WITH RAFTERS

6x10 #1 DF-L S4S Beam	62.5 FT
6x14 SS DF-L S4S Beam	49.0 FT
6x8 #1 DF-L S4S - 5'-0"L	5.0 EA
6x6 #1 DF-L S4S - 5'-0"L	11.0 EA
6x18 #1 DF-L S4S Beam	12.0 FT
6x12 #1 DF-L S4S Beam	137.9 FT
6-3/4" x 18" GLU Beam	44.0 FT
8-3/4" x 18" GLU Beam	105.1 FT
8-3/4" x 12" GLU Beam	11.9 FT
8-3/4" x 21" GLU Beam	40.0 FT
5.25x16 LVL	16.3 FT
6x6 #1 DF-L S4S	26.6 FT
6x10 #1 DF-L S4S	25.4 FT
6x8 #1 DF-L S4S	18.9 FT
6x12 #1 DF-L S4S	9.1 FT
2x12 #2 DF-L S4s Sub Fascia	173.7 FT
Roof Framing - 2x12 #1 DF-L ...	4256.7 SQ FT
2x12 #1 DF-L S4S	3300.5 FT
Ceiling Framing - 2x8 #2 DF-L...	354.7 SQ FT
2x8 #2 DF-L S4S	374.5 FT
2x8 #2 DF-L S4S Blocking	84.4 FT
6x8 #1 DF-L S4S - 14'	8.0 EA
6x6 #1 DF-L S4S - 12'-4"	2.0 EA
4x6 #1 DF-L S4S - 10'	1.0 EA
6x8 #1 DF-L S4S - 12'-4"	1.0 EA
HSS 5x5x1/2 Steel Post - 13'-6"H	1.0 EA
6x6 #1 DF-L S4S - 14'	1.0 EA
6x6 #1 DF-L S4S - 12'	4.0 EA



## ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



## ROOF FRAMING KEYNOTES

### GENERAL

ALWAYS REFER TO THE GENERAL NOTES,  
SPECIFICATIONS, KEYNOTES AND REFERENCES  
AND RELATED PLANS, SECTIONS, ELEVATIONS  
AND DETAILS.

- BUILDING LOCATION: SEE SITE PLAN FOR LOCATION OF BUILDING ON SITE.
- DATUM ELEVATION: +0'-0" SET FROM FINISHED FLOOR HEIGHT OF 4
- BLDG. CONFIGURATION: CONTRACTOR IS TO NOTIFY ARCHITECT PRIOR TO PERFORMING ANY WORK (CHANGES) REQUESTED BY THE OWNER WHICH DO NOT MATCH WHAT IS SHOWN ON THESE PLANS, AFFECTING THE STRUCTURAL AND/OR AESTHETIC ELEMENTS OF THIS BUILDING. ARCHITECT MUST BE GIVEN THE OPPORTUNITY TO DISCUSS SUCH CHANGES WITH THE OWNER TO AVOID CREATING ANY DANGEROUS STRUCTURAL CONDITIONS OR OTHER CHANGES WHICH MAY HAVE TO BE UNDONE LATER, CAUSING UNNECESSARY EXPENSE AND DELAYS.
- DIMENSIONS: FLOOR PLAN DIMENSIONS SHALL TAKE PRECEDENCE OVER FRAMING PLAN DIMENSIONS. ANY MISSING AND/OR CONFLICTING DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- DIMENSIONS: FACE OF STUDS, CENTERLINE OF STUDS OR POSTS UNLESS NOTIFIED OTHERWISE (U.N.O.).
- KEYNOTES: CATEGORIZED BY DRAWING TYPE SUCH AS FLOOR PLAN KEYNOTES ARE 200 SERIES, REFLECTED CEILING PLAN KEYNOTES ARE 300 SERIES, ETC. ANY GIVEN KEYNOTE NUMBER HAS THE SAME DEFINITION THROUGHOUT THE PLANS; THEREFORE ONE NUMBER WILL NOT HAVE TWO OR MORE DEFINITIONS IF FOUND ON DIFFERENT SHEETS IN THIS SET. THE NUMBERS ALSO CORRESPOND TO THE SHEETS FIRST NUMBER, SUCH AS FLOOR PLANS (A2.1, ETC.) WILL HAVE 200 SERIES KEYNOTES.

### KEYNOTES

SEE ALSO KEYNOTES ON SHEET S2.2

NOTES: SEE SHEETS G0.1 & G0.1, S0.2 & S0.3 FOR ADDITIONAL GENERAL NOTES, REQUIREMENTS, AND TYPICAL DETAILS FOR STRUCTURAL ASPECTS OF THIS WORK.

COORDINATE FRAMING LAYOUT AS REQ'D WITH RECESSED LIGHT LOCATIONS AND MECH GRILLES. HEAD OUT FRAMING IF REQUIRED.

REFER TO SHEET S0.1 AND S0.2 FOR TYPICAL DETAILS WHICH MAY OR MAY NOT BE REFERENCED TO SPECIFIC LOCATIONS SEE SHEET S0.4 FOR SHEAR WALL INFORMATION: NAILING, DETAILS, NOTES, ETC.

Contractor shall verify all field conditions for conformance to drawings before starting construction. All measurements are subject to verification by the contractor and he shall notify Ewing Architects Inc. of any discrepancies prior to fabrication or construction.

## JUNE LAKE BUSINESS CENTER PHASE 1

2784 CA HWY 158  
JUNE LAKE, CA 23529

JOB TITLE + ADDRESS

DON MORTON  
PO BOX 237  
JUNE LAKE, CA 93529

Copyright 1972 - D.S. Ewing Architects, Inc. All rights reserved. Designs, Drawings and Specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. They are not to be used on other projects or extensions to this Project except by agreement in writing and with appropriate compensation to the Architect.

## D.S. EWING ARCHITECTS INC. A.I.A.

723 E. California Blvd.  
Pasadena, CA 91106  
office: 626.584.0860  
fax: 626.584.5905  
ewingarchitects.com

These drawings are to be considered preliminary and are not approved for construction until the owner and the Architect have signed below. These drawings are not to be used for construction by the contractor until the contractor has signed below. Signatures below by Owner and Contractor indicate a complete review and knowledge of the scope, contents and conditions as set forth in these documents.

OWNER

ARCHITECT

CONTRACTOR

JOB #: 19-932

DRAWN LAST: EWING ARCHITECTS

SHEET DATE: Nov. 30, 22

PLOTTED: Nov. 1, 23

## REVISIONS

9/15/22 - REORGANIZED FOR 24X36

4/25/23 - REV. PER DS MARKUPS

MONO COUNTY STAMPS

ROOF FRAMING PLAN

SHEET TITLE

S4.1

SHEET NO.



- 1) `connecticut 2000 <- read.csv("data/ct_2000.csv")`
- 2) `connecticut %>% summarise(perc_black = sum(black == 1) / n())`
- 3) `connecticut %>% summarise(perc_black = sum(black) / n())`
- 4) `connecticut %>% summarise(perc_black = sum(black) / sum(black == 1))`
- 5) `connecticut %>% summarise(perc_black = sum(black) / sum(black == 1))`
- 6) `connecticut %>% summarise(perc_black = sum(black) / sum(black == 1))`
- 7) `connecticut %>% summarise(perc_black = sum(black) / sum(black == 1))`
- 8) `connecticut %>% summarise(perc_black = sum(black) / sum(black == 1))`
- 9) `connecticut %>% summarise(perc_black = sum(black) / sum(black == 1))`



6-3